

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0139/93

Mr & Mrs Pritchard
13 Silverthorn Drive
Hemel Hempstead
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
=====

13 Silverthorn Drive, Hemel Hempstead, Herts

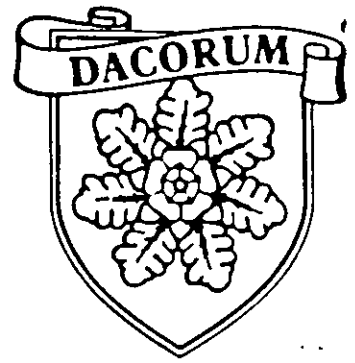
FIRST FLOOR SIDE EXTENSION & ALTERATIONS

Your application for *full planning permission (householder)* dated 03.02.1993 and received on 03.02.1993 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 29.03.1993

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE
TO APPLICATION: 4/0139/93

Date of Decision: 29.03.1993

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. No work shall be started on the development hereby permitted until details of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: In the interests of ensuring that the development is successfully assimilated within the street scene.

3. The existing roof tiles of the side elevation hatched yellow on Drawing No. SD/92/1 shall be re-used for the roof of the elevation of the development hereby permitted, as hatched orange on Drawing No. SD/92/3/a/b, unless otherwise agreed in writing by the local authority.

Reason: In the interests of ensuring that the development is successfully assimilated within the street scene.

4. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendment thereto there shall be no alterations to the front and side elevations of the development hereby permitted without the express written permission of the local planning authority.

Reason: In order that the local planning authority may retain control over further development in the interests of:

- (a) Safeguarding the appearance of the extended dwellinghouse within the street scene. Alterations or additions to the extension's front elevation may disrupt the visual continuity between the original dwelling and the extension. In this case, the window design is particularly important to ensuring this continuity is achieved.
- (b) Safeguarding the privacy of No. 15 Silverthorn Drive. The insertion of window openings within the flank wall of the extension could cause a loss of privacy to No. 15 by reason of overlooking.

5. No part of the extension hereby permitted shall be used as a music room, unless otherwise agreed in writing by the local planning authority.

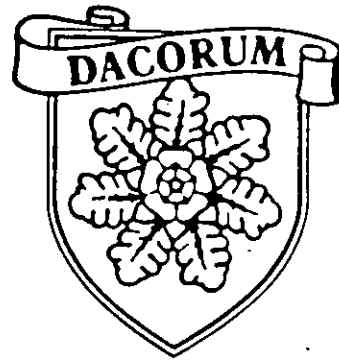
Reason: (a) For the avoidance of doubt.

- (b) To accord with the applicant's letter dated 3 March 1993 to the local planning authority where it is confirmed that the extension was not to be used for such purposes.

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CONDITIONS APPLICABLE
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(c) To permanently safeguard the residential amenity of No. 15 Silverthorn Drive. The use of any part of the extension for such purposes would be likely to cause noise and disturbance to No. 15 due to the juxtaposition of the extension to this property and its layout. It would be necessary for the local planning authority to consider a sound insulation scheme for the extension, should it be proposed in the future that the development hereby permitted be used as a music room.

6. All the windows coloured purple on Drawing No. SD/92/3/a/b shall be fitted with obscure glass and be of a fixed type.

Reason: To safeguard the residential amenity of the adjoining dwellinghouses.

7. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

Reason: To maintain and enhance visual amenity.

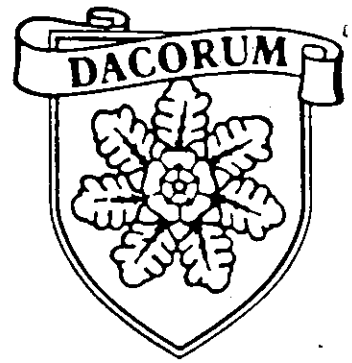
8. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

9. Notwithstanding the dimensions specified as '1000 approx' and '1750 approx' on Drawing No. SD/92/3/a/b the width/position of the extension, as built, shall be determined only by dimensions 4750 and 4500 on Drawing No. SD/92/3/a/b in relation to the existing northern flank wall of the dwellinghouse.

Reason: For the avoidance of doubt. The fixed point upon which all dimensions of the extension should be taken from is the northern flank wall of the existing dwellinghouse, given that the specified dimensions of 1000 and 1750 are only approximate in relation to the common boundary with No. 15 Silverthorn Drive.

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10. Details submitted in conjunction with Condition 7 shall include the retention of the tree marked as 'T1' on Drawing No. SD/92/3/a/b.

Reason: For the avoidance of doubt.