

TOWN AND COUNTRY PLANNING ACT 1990

*DACORUM BOROUGH COUNCIL*

Application Ref. No. 4/0156/95

Mr Potton  
32 Sarratt Ave  
Hemel Hempstead  
Herts

Mr N.A.Johnson  
37 Storey Street  
Hemel Hempstead  
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

32 Sarratt Avenue, Hemel Hempstead, Herts

FIRST FLOOR SIDE EXTENSION

Your application for *full planning permission (householder)* dated 08.02.1995 and received on 14.02.1995 has been *GRANTED*, subject to any conditions set out on the attached sheet(s).

Director of Planning.

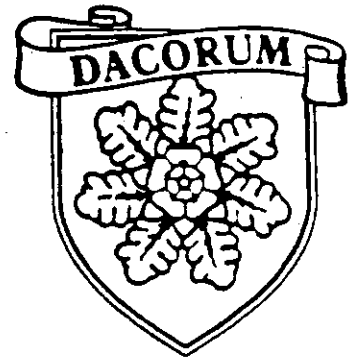
Date of Decision: 06.04.1995

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0156/95

Date of Decision: 06.04.1995



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.

Reason: To ensure a satisfactory appearance.

3. The dwellinghouse, as extended, shall at no time feature more than three bedrooms and at all times be served by the garage and associated driveway/front parking area hatched purple on drawing no. Wren/NAJ/008/95.

Reason: The dwellinghouse is served by some curtilage parking. The creation of any further bedrooms would be unacceptable due to the lack of available curtilage parking to serve this further bedroom accommodation. The creation of further bedrooms could be unlikely to accord with the Council's parking standards.

4. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendments thereto, there shall be no additions to the front elevation of the existing garage permitted without the express written permission of the local planning authority.

Reason: In order that the local planning authority may retain control over further development to ensure there is at all times adequate off-street curtilage parking.

5. The bathroom window coloured yellow on drawing no. Wren/NAJ/008/95 shall be permanently fitted with obscure glazing.

Reason: In the interests of amenity.

6. The area cross hatched yellow on drawing no. Wren/NAJ/008/95 shall be permanently retained as grass.

Reason: To maintain and enhance visual amenity.

