

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0219/96

Northchurch Parish Council  
49 Covert Road  
Northchurch  
Herts  
HP4 3RS

G J Loftus  
36 Fontmell Close  
St Albans  
Herts  
AL3 5HU

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

Allotment Land, New Road, Northchurch

FORMATION OF BOWLS GREEN, ERECTION OF CLUBHOUSE AND CAR PARKING

Your application for *full planning permission* dated 28.01.1996 and received on 22.02.1996 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning

Date of Decision: 17.10.1996

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0219/96

Date of Decision: 17.10.1996

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The clubhouse hereby permitted shall be constructed in dark stained timber clad walls and shingles roof in a colour to be agreed in writing by the local planning authority, or such other materials as may be agreed in writing with the local planning authority.

Reason: To ensure a satisfactory appearance.

3. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping for the site (including the access and sight lines at New Road) which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

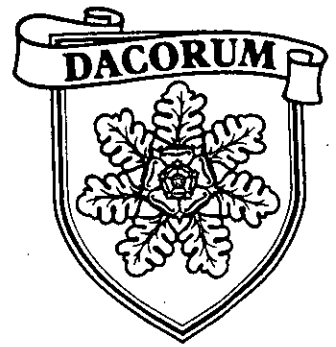
Reason: To maintain and enhance visual amenity.

4. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

5. The development hereby permitted shall not be brought into use until the arrangements for vehicle parking, shown on Drawing No. 96/744 shall have been provided, and they shall not be used thereafter otherwise than for the purposes approved.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0219/96

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6. The development hereby permitted shall not be brought into use until a bund along the retaining wall on the northern boundary of the site has been provided in accordance with details which shall first have been submitted to and approved in writing by the local planning authority.

Reason: To maintain and enhance visual amenity.

7. No work shall commence on the development hereby permitted until the vehicle access to the site in the position shown on Drawing No. 96/744 has been constructed.

Reason: In the interests of highways safety.

8. The development shall not be brought into use until the existing access has been closed and the kerbs and footway/verge reinstated to the standards set out in the current edition of Hertfordshire County Council's "Roads in Hertfordshire".

Reason: In the interests of highways safety.

9. The access shall include the provision of sight lines 4.5 m x distance to site boundaries with kerb radii of 6 m within which there shall be no obstruction more than 600 mm above carriageway level.

Reason: In the interests of highways safety.

10. The access shall be 4.8 m wide for the first 15 m into the site and then reduced to 3.5 m in width with a minimum of two passing places between New Road and the proposed car park.

Reasons: (a) In the interests of highways safety.

(b) To ensure a satisfactory appearance.

11. The development hereby permitted shall not be brought into use until details of the surface materials of the access track shall have been submitted to and approved by the local planning authority.

Reason: To ensure a satisfactory appearance.

12. The Clubhouse shall be used only for purposes ancillary to the use of the bowling green hereby permitted and it shall not be used for any other purpose unless previously agreed in writing by the local planning authority.

Reason: To enable the local planning authority to retain control over the development which is permitted only to meet the specific circumstances of the applicant.