

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0226/95

R H & D S Latham
Interac House
104 High Street
Tring
Herts

James Cox & Associates
Rickford House
12 Rickfords Hill
Aylesbury
Bucks

DEVELOPMENT ADDRESS AND DESCRIPTION
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104 High Street, Tring, Herts

CHANGE OF USE OF FIRST & SECOND FLOOR TO FORM 2 RESIDENTIAL UNITS AND FORMATION OF ENTRANCE PORCH

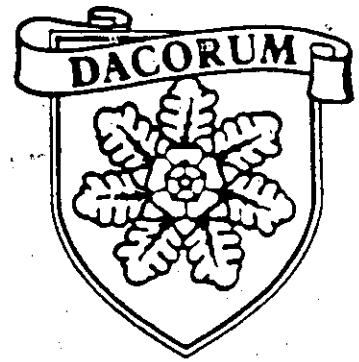
Your application for *full planning permission* dated 14.02.1995 and received on 27.02.1995 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 15.05.1995

(encs. - Conditions and Notes).





CONDITIONS APPLICABLE
TO APPLICATION: 4/0226/95

Date of Decision: 15.05.1995

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. No work shall be started on the development hereby permitted until details of new ground surface paving areas have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

3. Notwithstanding details shown on plans 4/0226/95, the new entrance porch shall be of timber framed construction, details of which shall be submitted to and approved by the local planning authority before the development is commenced.

Reason: To ensure a satisfactory appearance.

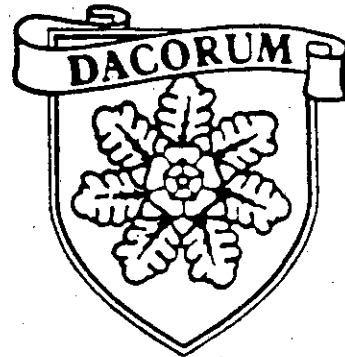
4. Before development commences the applicant shall submit to the local planning authority an assessment of the adequacy of the existing party wall (including that in the roof space) to provide resistance to the passage of airborne and structure borne sound between the application building and the adjoining building, and between the office and dwellings created by the proposal. The report will take into account:

- (a) the presence or otherwise of airborne sound paths;
- (b) the presence or otherwise of flanking transmission paths for sound transmission;
- (c) the density, mass and thickness of separating walls; and
- (d) the presence of any other features likely to reduce the acoustic insulation performance of the party wall such as inbuilding of joist ends.

Reason: To ensure an adequate standard of sound attenuation.

Continued ...





CONDITIONS APPLICABLE
TO APPLICATION: 4/0226/95

Date of Decision: 15.05.1995

5. No development shall take place until there has been submitted to, and approved by, the local planning authority a scheme of sound insulation which shall include the measures that the assessment referred to in condition 4 indicates are necessary to ensure the adequacy of sound insulation between:

- (a) the proposed development and the adjoining building; and
- (b) each of the proposed flats where there is a common wall or floor.

Reason: To ensure an adequate standard of sound attenuation.

6. Any scheme as may be agreed by the local planning authority under condition 5 shall be carried out prior to occupation of the proposed flats.

Reason: To ensure an adequate standard of sound attenuation.

