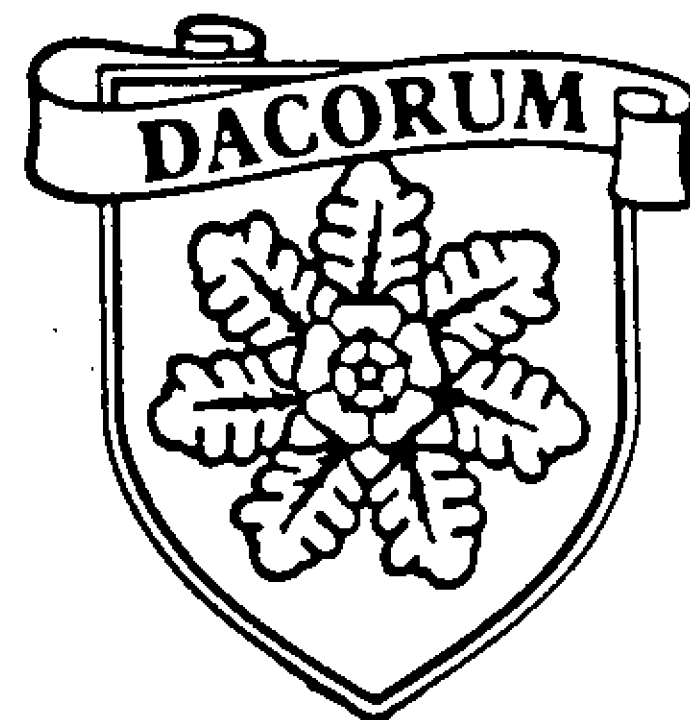


TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL



Application Ref No. 4/0261/94

Pizza Hut (UK) Ltd
1 Imperial Place
Elstree Way
Borehamwood
Herts

John Gilson
Pizza Hut (UK) Ltd
1 Imperial Place
Elstree Way Borehamwood
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
=====

24/26 High Street, Hemel Hempstead, Herts

VARIATION OF CONDITIONS 2 & 3 OF PLANNING PERMISSION 4/1303/93 (CHANGE OF USE
GROUND FLOOR RETAIL SHOP (A1) TO (A3) USE AS RESTAURANT)

Your application for *the removal of a condition on a previous permission dated 21.02.1994* and received on 24.02.1994 has been **REFUSED**, for the reasons set out on the attached sheet(s).

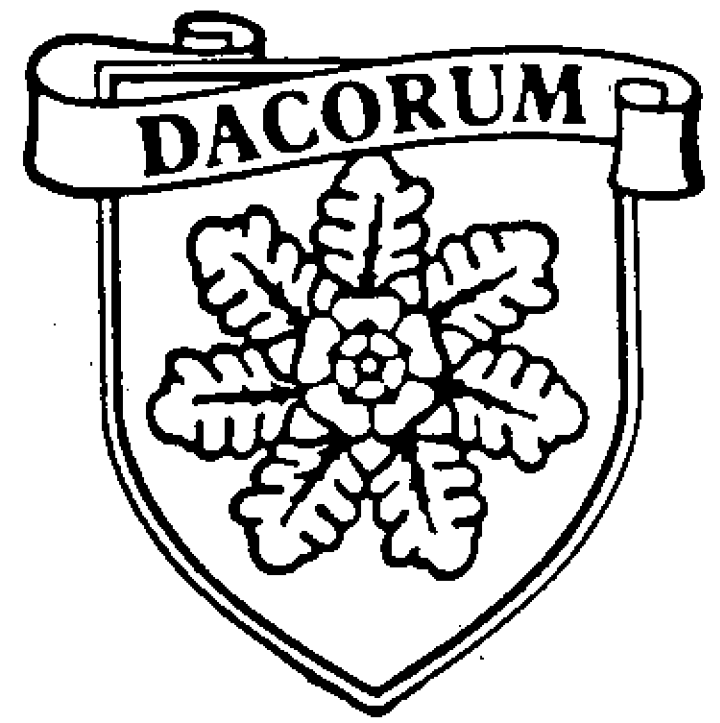
Director of Planning

Date of Decision: 20.04.1994

(ENC Reasons and Notes)

REASONS FOR REFUSAL
OF APPLICATION: 4/0261/94

Date of Decision: 20.04.1994



1. In addition of a take-away use is likely to generate a demand for short stay on-street parking which is likely to exacerbate existing parking problems which would result in consequential inconvenience and danger to other road users.
2. The application site is located within the Hemel Hempstead High Street Local Centre as defined by Policy 34 of the Dacorum Borough Local Plan Deposit Draft. Within Local Centres it is the Council's policy to seek to maintain the vitality and viability for retail purposes but also to safeguard the residential environment. The High Street is not simply a shopping street, but is also a residential area of some significance. It is considered that the introduction of a take-away use and the relaxation of restrictions relating to hours of opening would result in a unacceptably adverse effect on the amenities which people living in the area can reasonably expect to enjoy.