

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0378/95

O Joynes Esq
Meadow Cottage
Pipers Hill
Nettleden
Herts

Mr. D Clarke
47 Gravel Lane
Hemel Hempstead
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
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Meadow Cottage, Pipers Hill, Nettleden

FORMATION OF NEW ACCESS (REVISED)

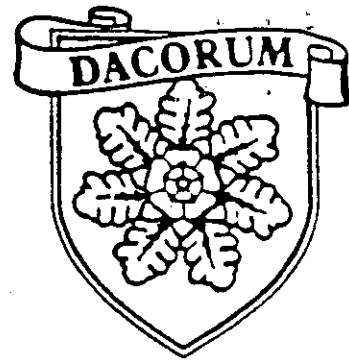
Your application for *full planning permission (householder)* dated 23.03.1995 and received on 24.03.1995 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 31.07.1995

(encs. - Conditions and Notes).





CONDITIONS APPLICABLE
TO APPLICATION: 4/0378/95

Date of Decision: 31.07.1995

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. Notwithstanding the drawn details on the approved plan, Drawing No. 9518/1B, the access shall have a width of 4 metres and the south-western radius shall be 7.5 m.

Reason: For the avoidance of doubt and in the interests of highways safety.

3. Notwithstanding the drawn details on the approved plan, Drawing No. 9518/1B, the north-eastern radius shall be 3 metres.

Reason: To discourage traffic from turning left out of the site in the interests of highway safety and in the interest of visual amenity.

4. The access shall be constructed to the levels and gradients specified on the approved plan, Drawing No. 9518/1B.

Reason: For the avoidance of doubt and in the interests of highways safety.

5. The existing access coloured green on the approved plan shall not be closed until the proposed access has been constructed in accordance with the terms of this permission.

Reason: To ensure that access is maintained at all times.

6. The existing access coloured green on the approved plan shall be closed within 7 days of the completion of the proposed access in accordance with the terms of this permission.

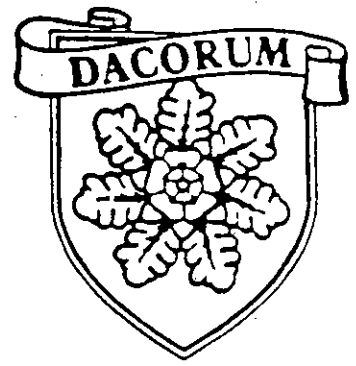
Reason: In the interests of highways safety.

7. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

Reason: To maintain and enhance visual amenity.

Cont'd





CONDITIONS APPLICABLE
TO APPLICATION: 4/0378/95

Date of Decision: 31.07.1995

8. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

