

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0389/93

Raymond Fearon  
10 Copper Beech Close  
Hemel Hempstead  
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION  
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10 Copper Beech Close, Hemel Hempstead, Herts

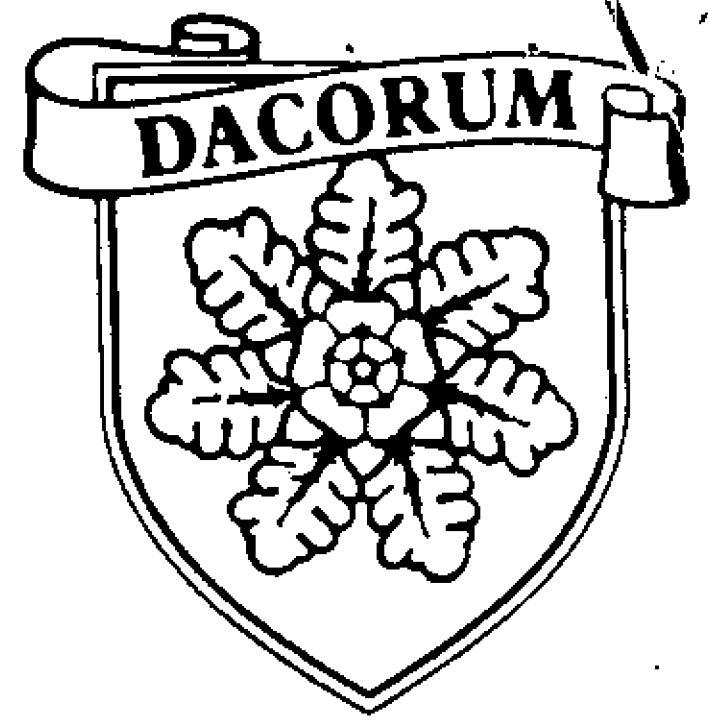
DETACHED DWELLINGHOUSE (RESUBMISSION)

Your application for *outline planning permission* dated and received on 17.03.1993 has been *GRANTED*, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 11.05.1993

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0389/93

Date of Decision: 11.05.1993

1. The development hereby permitted shall not be carried out otherwise than in accordance with detailed plans showing the design, landscaping and external appearance of the dwellinghouse which shall have been approved by the local planning authority or in default of agreement by the Secretary of State.

Reason: The approved scheme follows the refusal of an earlier outline application under reference 4/0389/930L for a dwelling on the site. This refusal related to a proposal which failed to meet the Council's Environmental Guidelines for development. The approved scheme has overcome the problems associated with Planning Refusal 4/0389/930L. This is due to the details of the access arrangement and siting of the dwellinghouse shown on the approved drawing, entitled 9694. The local planning authority is not satisfied that a different access arrangement and siting of the dwellinghouse would necessarily satisfy the Council's adopted Environmental Guidelines for development and it is only on the basis of the details shown on Drawing No. 9694 that the local planning authority is prepared to grant planning permission for the development.

2. Application for approval in respect of all matters reserved in condition 1 above shall be made to the local planning authority within a period of three years commencing on the date of this notice and the development to which this permission relates shall be begun not later than whichever is the later of the following dates:

- (i) The expiration of a period of five years commencing on the date of this notice.
- (ii) The expiration of a period of two years commencing on the date upon which final approval is given by the local planning authority or by the Secretary of State or, in the case of approval given on different dates, the final approval by the local planning authority or the Secretary of State.

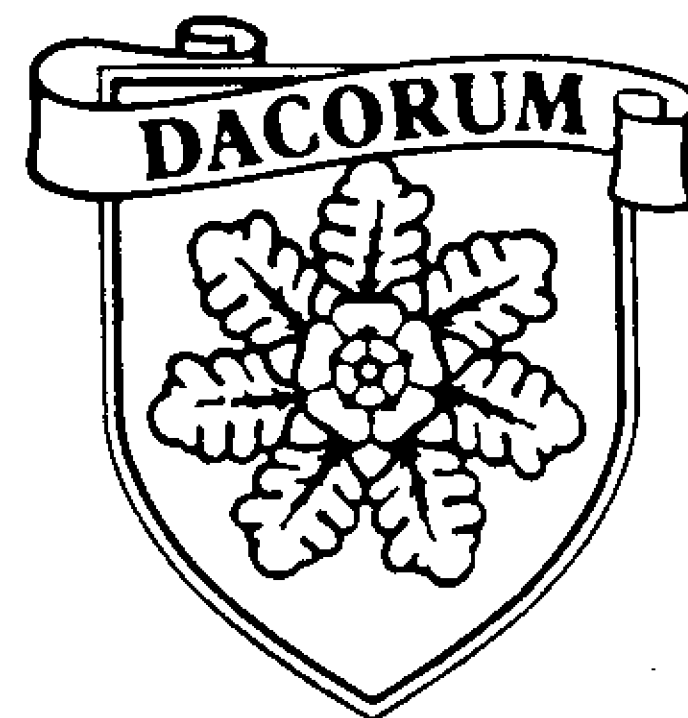
Reason: To comply with the provisions of s.92 of the Town and Country Planning Act 1990.

3. This planning permission only extends to the details of the access arrangement and the siting of the dwellinghouse shown on Drawing No. 9694.

Reason: For the avoidance of doubt, given the reason specified for Condition 1.

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4. The dwellinghouse hereby permitted shall be of a design that incorporates a roof detailing and heights which accord with the stepped roof design of the dwellinghouse as shown on Drawing No. 9694, unless otherwise agreed by the local planning authority.

Reason: The local planning authority acknowledges that Drawing No. 9694 specifies that "elevations of new house for illustration purposes only; details to be agreed at the detailed planning stage." Albeit that the local planning authority raises no objection to an alternative elevation in terms of detail, given national policy guidance, it is of the opinion that the massing of the dwellinghouse with regard to its roof design is compatible with the existing residential environment. The local planning authority is not satisfied that a dwellinghouse incorporating a substantially different roof design will be compatible with the locality. To this effect an alternative roof design involving a dwellinghouse with a substantially greater massing would require careful assessment. In its submitted form the roof design accords with the pre-submission advice of the local planning authority.

5. The developer shall construct the crossover to standards set out in the current edition of Hertfordshire County Council's "Specification for the Construction of Residential Estate Roads" and the development shall not be brought into use until the access is so constructed.

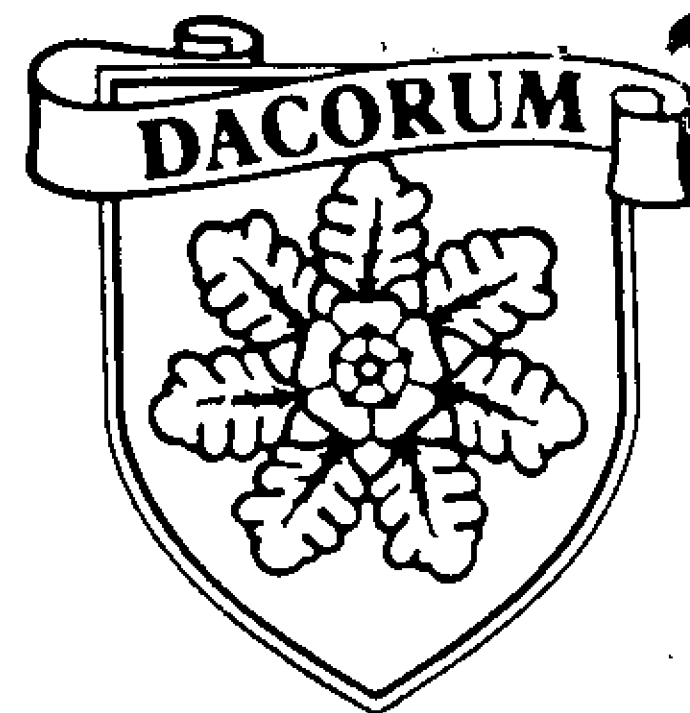
Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

6. A 2.4m x 2.4m visibility splay shall be provided on the western side of the access as measured into the site as coloured orange on Drawing No. 9694, within which there shall be no obstruction to visibility between 600mm and 2.0m above footway level.

Reason: In the interests of highways safety.

7. The dwellinghouse hereby permitted shall not be occupied until the new driveway and associated vehicle turning area shall have been provided fully in accordance with all the details, including the 1 in 10 gradient, Sections 'A-A', 'B-B' and 'C-C' unless otherwise agreed by the local planning authority and the turning area thereafter shall not be used for any other purpose other than for vehicle turning.

Reason: For the avoidance of doubt, to ensure that vehicles may enter and leave the site in forward gear, and in the interests of highways safety.



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8. A refuse collection point shall be provided within 25 metres of the adopted highway.

Reason: In the interests of highways safety.

9. Notwithstanding the details shown on Drawing No. 9694 there shall be no parking of vehicles within the area coloured yellow.

Reason: There is adequate space to accommodate 4 spaces elsewhere within the curtilage of the dwellinghouse hereby permitted and the provision of parking within the area coloured yellow will be likely to be detrimental to the residential amenity of No. 10 Copper Beech Close.

10. The only window openings that should be formed within the southern and northern flank walls of the dwellinghouse hereby permitted shall be permanently fitted with obscure glass and only partially openable within their top section.

Reason: To permanently safeguard the residential amenity of adjoining dwellinghouses, referred to as 10 Copper Beech Close and "Old Pastures" on Drawing No. 9694.

11. The existing window openings marked 'A' and 'B' on Drawing No. 9694 shall have their plain glass removed and be permanently replaced with obscure glass and only the top part of the respective windows shall be openable, in accordance with a scheme to be agreed in writing with the local planning authority before work starts on site.

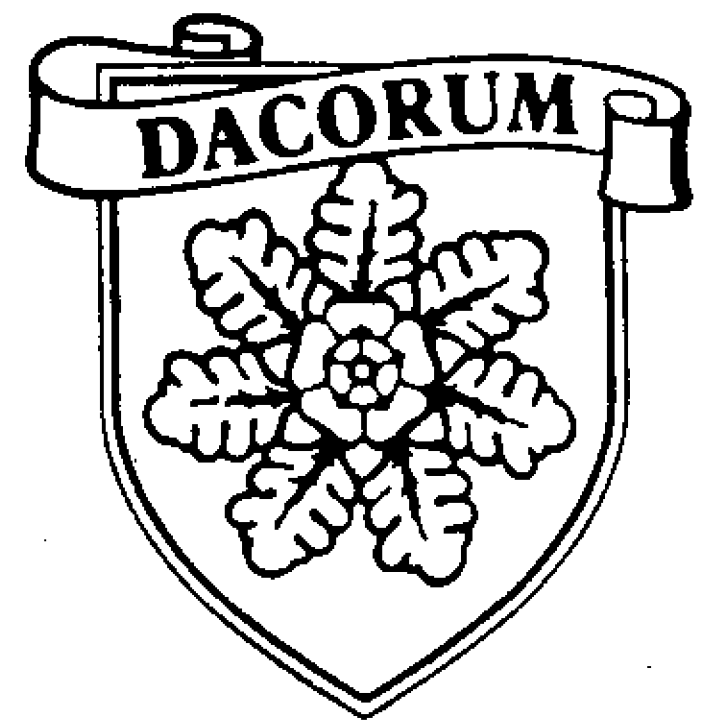
Reason: The existing secondary windows overlook the residential curtilage of the dwellinghouse hereby permitted. The replacement of the plain/clear glazing with obscure glass will ensure that the privacy of the new dwellinghouse is permanently safeguarded by preventing overlooking.

12. The obscure glazing approved under Condition 11 shall be installed prior to the first occupation of the dwellinghouse hereby permitted and thereafter permanently maintained in the approved condition.

Reason: For the avoidance of doubt.

13. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendment thereto there shall be no additions, alterations or extensions to either the dwellinghouse hereby permitted or No. 10 Copper Beech Close or the erection of Class E buildings within the respective curtilages without the express written permission of the local planning authority.

Reason: To enable the local planning authority to retain control over development in the interests of safeguarding the residential amenity of the respective dwellinghouses, and "Old Pastures" and the nearby preserved trees.



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14. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

Reason: In the interests of safeguarding the residential amenity of No. 10 Copper Beech Close, and adjoining dwellinghouses shown on location plan Scale 1:1250 and in the interest of the visual amenity of the locality.

15. The details submitted in accordance with Condition 14 shall include the areas hatched purple where beech hedging seedling stock or similar species shall be planted.

Reason: For the avoidance of doubt.

16. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: In the interests of safeguarding the residential amenity of No. 10 Copper Beech Close, and adjoining dwellinghouses shown on location plan Scale 1:1250 and in the interest of the visual amenity of the locality and also for the avoidance of doubt.

17. Development shall not begin until drainage works have been carried out in accordance with details to be submitted to and approved by the local planning authority.

Reason: To ensure proper drainage of the site.

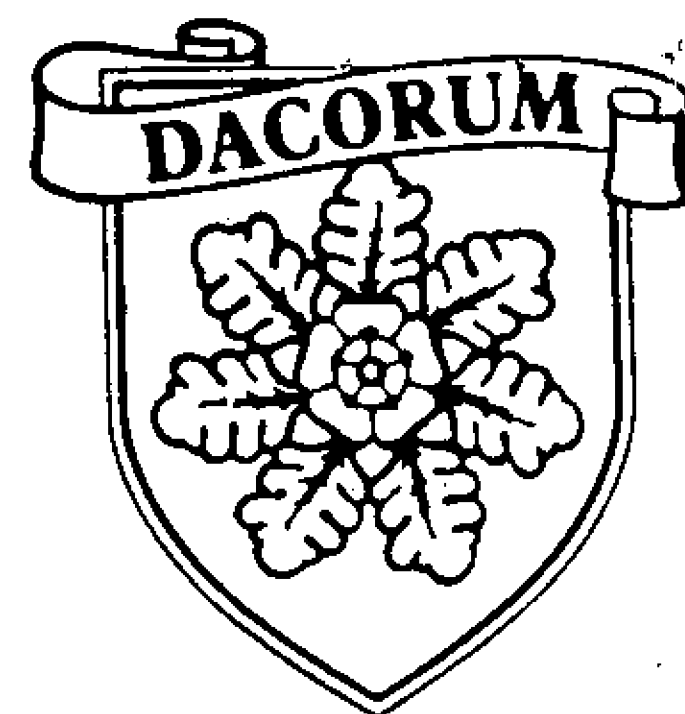
18. Details submitted in accordance with condition 1 hereof shall include:-

- (a) a survey of the site including levels, natural features, trees and hedges;
- (b) boundary treatment;
- (c) construction of drains and sewers.

Reason: To ensure a satisfactory development. Also to safeguard residential amenity and preserve trees and ensure that the drainage does not adversely affect the proposed planting scheme.

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19. Unless otherwise agreed by the local planning authority no development shall take place at the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the local planning authority.

Reason: The site forms part of Boxmoor House Roman Villa which is a Scheduled Ancient Monument (No. 57)