

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0398/94

Mr D Wurm
7 Marston Close
Hemel Hempstead
Herts
HP3 8NF

DEVELOPMENT ADDRESS AND DESCRIPTION
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7 Marston Close, Hemel Hempstead, Herts
PREFABRICATED GARAGE EXTENSION (REAR)

Your application for *full planning permission (householder)* dated 21.03.1994 and received on 22.03.1994 has been *GRANTED*, subject to any conditions set out on the attached sheet(s).

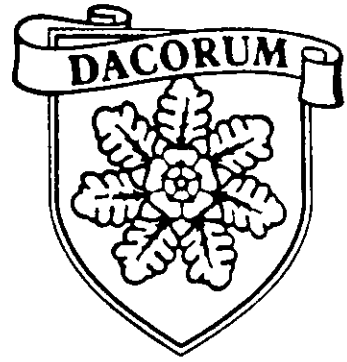
Director of Planning.

Date of Decision: 16.05.1994

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE
TO APPLICATION: 4/0398/94

Date of Decision: 16.05.1994



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The garage hereby permitted shall be of a level fascia design (Type: Windsor Panelite) and its walls shall be of the finish shown by the catalogue details submitted with the application.

Reason: For the avoidance of doubt and in the interests of the appearance and impact of the development of the garage in relation to No. 8 Marston Close.

3. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendment thereto there shall be no alterations or additions to the garage hereby permitted without the express written permission of the local planning authority.

Reason: To enable the local planning authority to retain control over future development in the interests of safeguarding the residential amenity of No. 8 Marston Close.

5. There shall be no vehicular access to the garage hereby permitted from Rant Meadow.

Reason: For the avoidance of doubt as the garage hereby permitted is granted on the basis that access is only from Marston Close.