

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0418/95

Mr & Mrs Howard
42 The Horseshoe
Hemel Hempstead
Herts

R Kent
39 Ellingham Road
Hemel Hempstead
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
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42 The Horseshoe, Hemel Hempstead, Herts

SINGLE STOREY SIDE & REAR EXTENSION & PITCHED ROOF

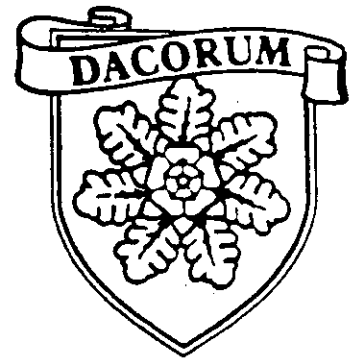
Your application for *full planning permission (householder)* dated 01.04.1995 and received on 03.04.1995 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 25.05.1995

(encs. - Conditions and Notes).





CONDITIONS APPLICABLE
TO APPLICATION: 4/0418/95

Date of Decision: 25.05.1995

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.

Reason: To ensure a satisfactory appearance.

3. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendments thereto, there shall be no alteration or addition to the extension or the front garage door without the express written permission of the local planning authority.

Reason: In order that the local planning authority may retain control over further development in the interests of residential amenity and to ensure the adequate and satisfactory provision of off-street vehicle parking facilities.

4. The extension shall not be used as additional bedroom accommodation and the dwellinghouse shall always be served by 2 parking spaces comprising of the garage and driveway coloured orange on the approved plan.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities. The creation of a further bedroom at the site will not be served by adequate off-street parking. Any loss of site parking will be unacceptable to serve the enlarged dwellinghouse.

