

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0486/95

Mr & Mrs K Barratt  
Felden House  
Sheethanger Lane  
Hemel Hempstead  
Herts

Mr A King  
Folly Bridge House  
Bulbourne  
Tring  
Herts HP23 5QG

DEVELOPMENT ADDRESS AND DESCRIPTION  
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Land rear of Felden House, Sheethanger Lane, Hemel Hempstead

DETACHED DWELLING

Your application for *full planning permission* dated 18.04.1995 and received on 20.04.1995 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

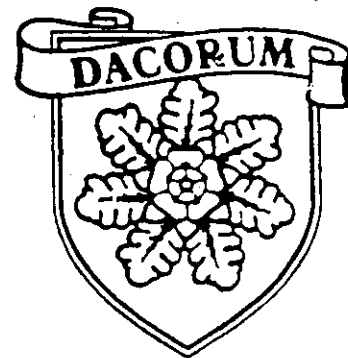
Date of Decision: 09.06.1995

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0486/95

Date of Decision: 09.06.1995



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. No work shall be started on the development hereby permitted until details of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

3. There shall be no further windows inserted within the southeast and northwest elevation of the dwelling hereby approved without the prior written approval of the local planning authority.

Reason: In the interests of residential amenity.

4. The first floor side windows in the dwelling hereby approved shall be permanently fitted with obscure glazing.

Reason: In the interests of residential amenity.

5. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

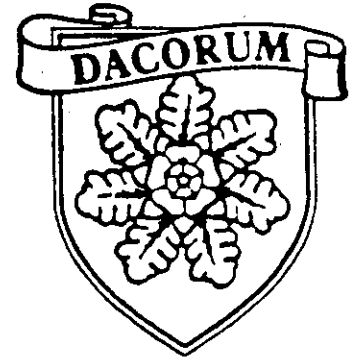
Reason: To maintain and enhance visual amenity.

6. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

Continued ...





CONDITIONS APPLICABLE  
TO APPLICATION: 4/0486/95

Date of Decision: 09.06.1995

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 or any amendments thereto, there shall be no extension or addition to the building(s) hereby permitted without the express written permission of the local planning authority.

Reason: In order that the local planning authority may retain control over further development in the interests of residential and visual amenity.

8. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order), no garages shall be erected (other than those expressly authorised by this permission).

Reason: In order that the local planning authority may retain control over further development in the interests of residential and visual amenity.

**NORTHGATE  
DOCUMENT STAMPED  
TO ENSURE DETECTION  
BY SCANNER**





# PLANNING

SOLIDOAK LTD  
2 MANOR CROFT  
LOWER TWYDALL LANE  
GILLINGHAM  
KENT  
ME7 2UX

TOWN AND COUNTRY PLANNING ACT 1990

**APPLICATION - 4/00879/97/RES**

**SUBMISSION OF MATERIALS ROOF TILES PURSUANT TO PLANNING  
PERMISSION 4/486/95 (DETACHED DWELLING)**

**REAR FELDEN HOUSE, SHEETHANGER LANE, HEMEL HEMPSTEAD, HERTS,  
HP3**

Your application for the approval of details or reserved matters dated 2 June 1997  
and received on 2 June 1997 has been **GRANTED** subject to any conditions set out  
overleaf.

Director of Planning  
Dacorum Borough Council  
Civic Centre  
Marlowes  
Hemel Hempstead  
Herts  
HP1 1HH

Date of Decision: 25 June 1997

**CONDITIONS APPLICABLE TO APPLICATION: 4/00879/97/RES**

Date of Decision: 25 June 1997

**No conditions.**

**NORTHGATE  
DOCUMENT STAMPED  
TO ENSURE DETECTION  
BY SCANNER**