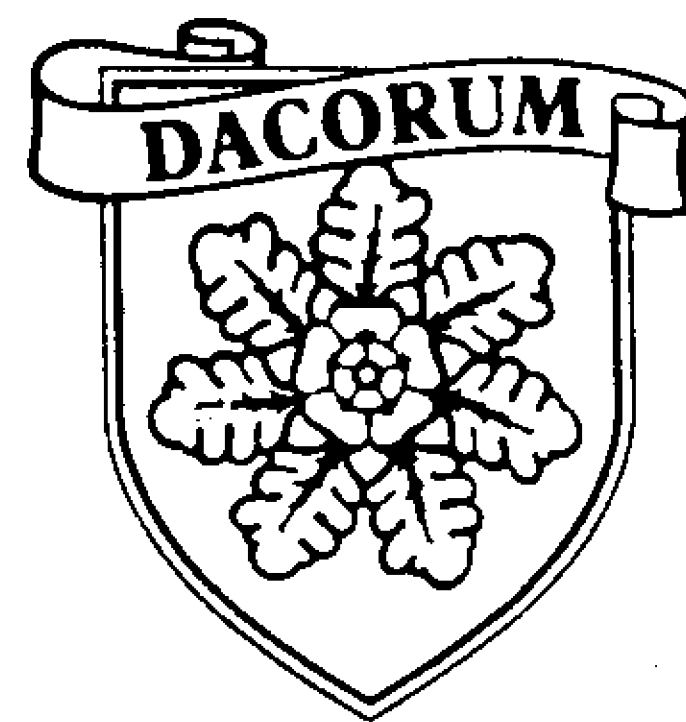


TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL



Application Ref. No. 4/0499/93

Mr & Mrs Hooper  
84 Vicarage Lane  
Kings Langley  
Herts

John L Sims  
22 Wyatt Close  
Chorleywood  
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION

=====

84 Vicarage Lane, Kings Langley, Herts

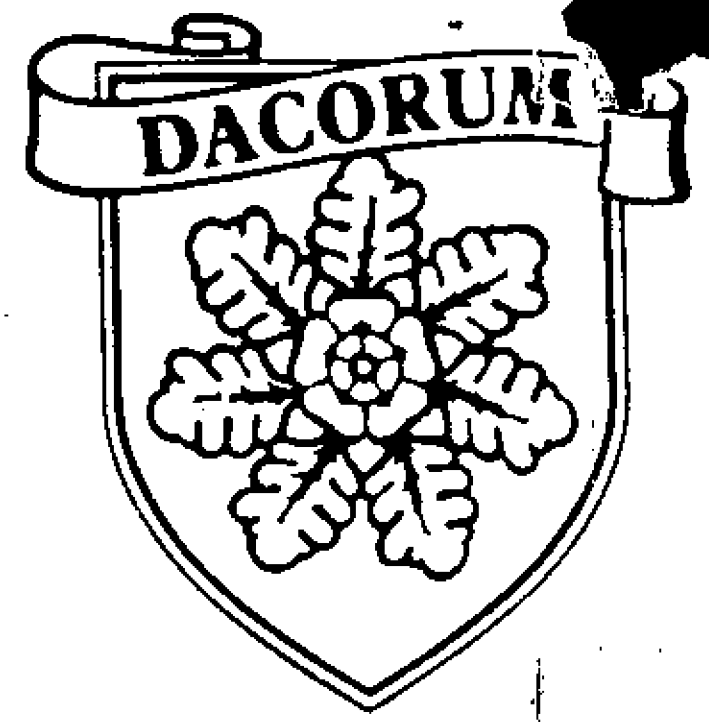
TWO STOREY SIDE EXTENSION, ATTACHED GARAGE AND NEW ACCESS (RE-SUBMISSION)

Your application for *full planning permission (householder)* dated 29.03.1993 and received on 02.04.1993 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 25.05.1993

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0499/93

Date of Decision: 25.05.1993

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The existing roof tiles of the dwellinghouse which are to be removed in order to facilitate the erection of the two storey side extension shall be re-used, where possible, for the northern/front elevation of this extension, as coloured orange on Drawing No. VL/92/2/a/b/c.

Reason: The dwellinghouse occupies a prominent position within the street scene, being visible from Kings Langley Conservation Area. In order to ensure that the extension appears as an integral part of the dwellinghouse, the use of the existing tiles will be a means of assimilating the development within its surroundings.

3. No work shall be started on the development hereby permitted until details of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

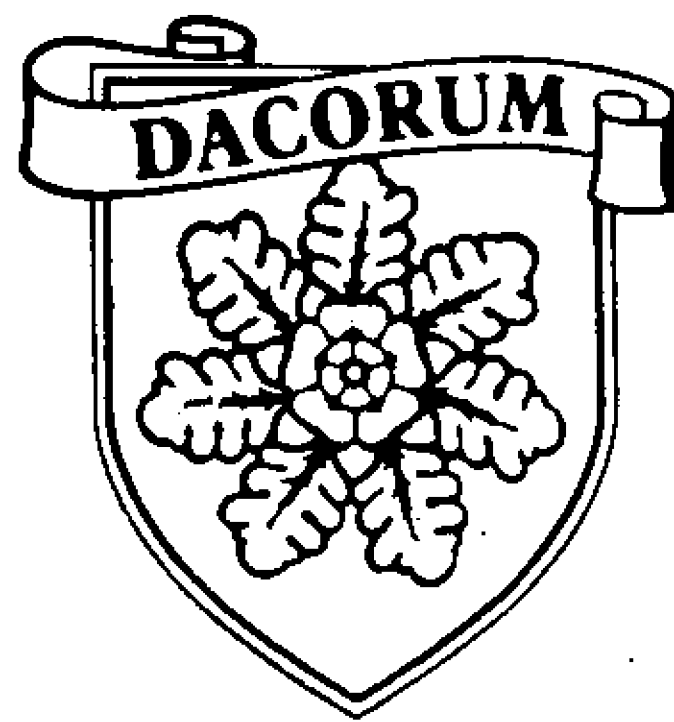
Reason: The dwellinghouse occupies a prominent position within the street scene, being visible from Kings Langley Conservation Area and Five Acres. The use of the roofing material and brickwork is most important in order to ensure that the extension appears as an integral part of the dwellinghouse and is assimilated within its surroundings.

4. No work shall be commenced upon the development hereby permitted until details of the type of foundations to be used for the two storey extension shall have been submitted to and approved by the local planning authority and the development shall be carried out in accordance with the approved scheme.

Reason: The two storey extension lies parallel with and close to attractive vegetation, which lies outside the curtilage of the dwellinghouse and makes a most valuable contribution to the visual amenity of the street scene, being visible from Kings Langley Conservation Area, from the east Five Acres cul-de-sac and 82 Vicarage Lane. The use of strip foundations, rather than pile and beam, will prejudice the long term survival of this vegetation in the interests of safeguarding both visual and residential amenity of the locality.

CONDITIONS APPLICABLE  
TO APPLICATION: 4/0499/93

Date of Decision: 25.05.1993



5. No work shall be commenced until a scheme has been submitted to and approved by the local planning authority for the protection of the trees lying parallel with the eastern boundary of the residential curtilage of the dwellinghouse, which are to be retained, and no lopping or topping of the trees shall be carried out without the prior approval of the local planning authority.

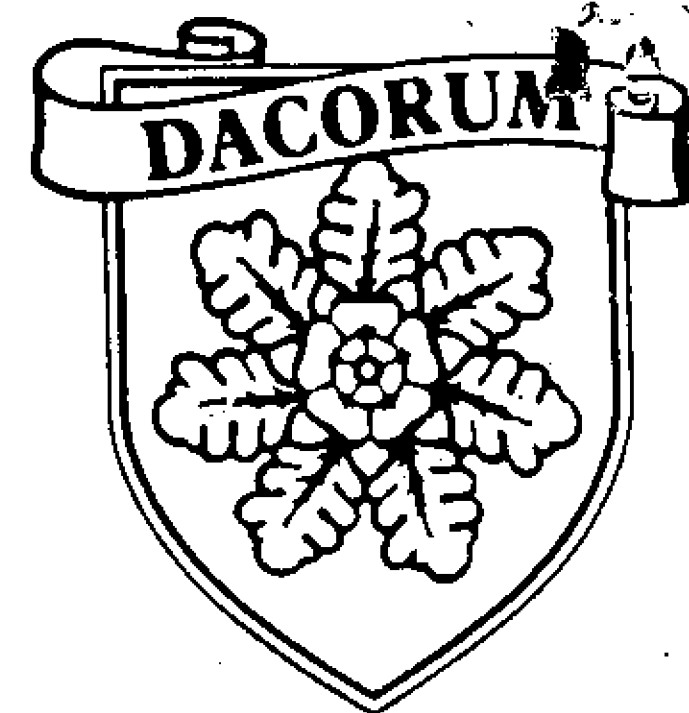
Reason: The two storey extension lies parallel with and close to attractive vegetation, which lies outside the curtilage of the dwellinghouse and makes a most valuable contribution to the visual amenity of the street scene, being visible from Kings Langley Conservation Area, from the east Five Acres cul-de-sac and 82 Vicarage Lane. It is most important therefore that the trees to be retained are not damaged during constructional works and there is no lopping or topping of the trees without the prior approval of the local planning authority in the interests of safeguarding both the visual and residential amenity of the locality, including part of No. 82 Vicarage Lane.

6. With the exception of the section of hedge to be removed to facilitate the provision of the new vehicular access shown on the approved plan (Scale 1:500), the existing hedges along the south, west and east boundaries of the site shall be retained and protected during the period of construction and such part or parts of the respective hedges as become damaged shall be replaced within the planting season following the completion of the development.

Reason: The existing boundary hedges make a most valuable contribution to both the visual and residential amenity of the street scene, being visible from Kings Langley Conservation Area, Five Acres and the curtilages of nearby dwellinghouses. To safeguard these features will consequently be in the interests of maintaining the quality of the existing environment.

7. Notwithstanding the details shown on Drawing No. VL/92/2/a/b/c this permission does not extend to the provision of the window opening within the eastern flank wall of the two storey extension hereby permitted and notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendment thereto there shall be no additions or alterations to the eastern flank wall referred to above without the express written permission of the local planning authority.

Reason: To safeguard the privacy of No. 82 Vicarage Lane and ensure the long term retention of the adjoining vegetation as the insertion of window openings would encourage requests to lop/top the vegetation due to its closeness and resulting 'nuisance'.



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0499/93

Date of Decision: 25.05.1993

8. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendment thereto there shall be no hard surface formed between the eastern flank wall of the two storey extension hereby permitted and the eastern boundary without the express written permission of the local planning authority.

Reason: To safeguard the adjoining vegetation which makes a valuable contribution to the residential and visual amenity of the locality as specified in the reasons for other related conditions.

9. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendment thereto there shall be no additions or alterations to the western flank wall of the garage hereby permitted without the express written permission of the local planning authority.

Reason: No. 86 Vicarage Lane features two kitchen windows facing the western flank wall of the garage, which may be used for a range of domestic purposes. The insertion of openings within the western flank wall would prejudice the existing privacy of No. 86.

10. The existing Japanese Maple tree located within the front garden of the dwellinghouse shall be retained and replacement for the Norway Maple to be removed to facilitate the provision of the new access shall be agreed in writing by the local planning authority; this replacement shall be planted within the first planting season following the formation of the access shown on the approved plan (Scale 1:500) and if within a period of 5 years following the formation of the access, the tree dies is removed or becomes seriously damaged or diseased it shall be replaced in the next planting season with a similar species.

Reason: The dwelling house occupies a prominent position within the street scene, being visible from Kings Langley Conservation Area. The retention of the Japanese Maple and the planting of a replacement of the Norway Maple are in the interests of safeguarding the visual amenity of the street scene, which includes land adjoining the designated Conservation Area.

11. The developer shall construct the crossover to standards set out in the current edition of Hertfordshire County Council's "Specification for the Construction of Residential Estate Roads" and the development shall not be brought into use until the access is so constructed.

Reason: In the interests of highways safety.

12. The crossover shown on the Block Plan (Scale 1:500) shall feature a pea shingle or gravel surface.

Reason: In the interests of the visual amenity of the locality given that the crossover will be within the Kings Langley Conservation Area where it is the responsibility of the local planning authority to ensure that development preserves or enhances both its character and appearance.