



TOWN AND COUNTRY PLANNING ACT 1990

*DACORUM BOROUGH COUNCIL*

Application Ref. No. 4/0509/92

B Haywood  
10 Caernarvon Close  
Hemel Hempstead  
Herts

Mr D Clarke  
47 Gravel Lane  
Hemel Hempstead  
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

10 Caernarvon Close, Hemel Hempstead

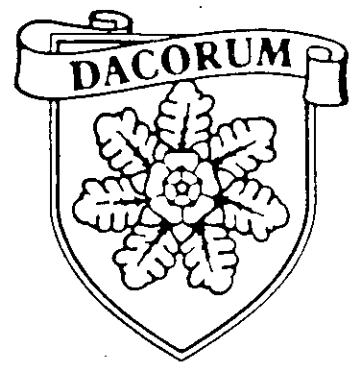
TWO STOREY FRONT EXTENSION

Your application for *full planning permission* dated 28.04.1992 and received on 30.04.1992 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning

Date of Decision: 27.05.1992

(encs. - Conditions and Notes)



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0509/92

Date of Decision: 27.05.1992

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The brickwork and roofing tiles used for the development hereby permitted shall match both in colour and texture those on the existing dwellinghouse of which this development shall form a part.
3. The section of the front elevation of the extension cross hatched on Drawing No. 9208/1A shall be clad in wooden boarding and painted white.
4. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 (Schedule 2 Part 1) or any amendment thereto, there shall be no alteration or addition to the front elevation of the existing garage without the express written permission of the local planning authority.
5. No work shall be commenced upon the development hereby permitted until a scheme for the parking of three vehicles within the curtilage of the dwellinghouse has been submitted to and approved by the local planning authority and the extension shall not be brought into use until the approved parking scheme has been fully complied with and thereafter permanently maintained.

**REASONS:**

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
- 2-3 In the interests of the appearance of the extended dwellinghouse within the street scene.
4. To enable the local planning authority to retain control over further development in the interests of maintaining adequate curtilage parking.
5. To ensure that there is adequate parking provision within the curtilage of the dwellinghouse.