



TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0511/91

K Bright  
Freshfield  
Ladymeadow, Kings Langley

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

Freshfield, Ladymeadow, Kings Langley,

TWO STOREY REAR EXTENSION & FORMATION OF DORMERS

Your application for *full planning permission (householder)* dated 05.04.1991 and received on 17.04.1991 has been *GRANTED*, subject to any conditions set out on the attached sheet(s).

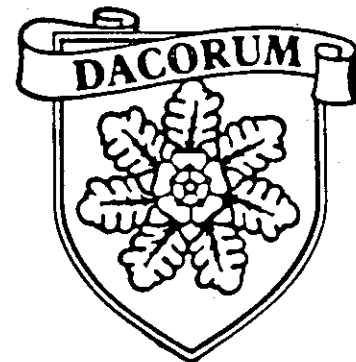
Director of Planning.

Date of Decision: 13.06.1991

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE  
TO APPLICATION: 4/0511/91

Date of Decision: 13.06.1991



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The existing flintwork of the rear elevation which is to be removed shall be re-used for the flint panels coloured yellow on Drawing No. 91671/2.
3. The roof tiles of the rear elevation of the bungalow shall be re-used for the section of new roof coloured green on Drawing No. 91671/2.
4. The windows coloured brown on Drawing No. 91671/2 shall be permanently fitted with obscure glass and shall be non-opening.
5. The roof tiles and external brickwork shall match both in colour and texture those on the existing dwellinghouse of which this development shall form a part.
6. The existing vegetation along the common boundaries with "Rough Walls" and "Hillcrest" shall be protected during the period of construction and any trees or hedging as become damaged shall be replaced within the planting season following the completion of the development and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end 31 March in the next following year.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
- 2&3. To ensure a satisfactory appearance.
4. To safeguard the residential amenity of "Hillcrest".
5. To ensure a satisfactory appearance.
6. In the interests of residential and visual amenity.