

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0517/93

Mrs J Bayes
76 St Albans Hill
Hemel Hempstead
Herts

R I Lawrenson
Crescent Cottage
1 Crescent Road
Hemel Hempstead
HERTS

DEVELOPMENT ADDRESS AND DESCRIPTION
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76 St Albans Hill, Hemel Hempstead, Herts

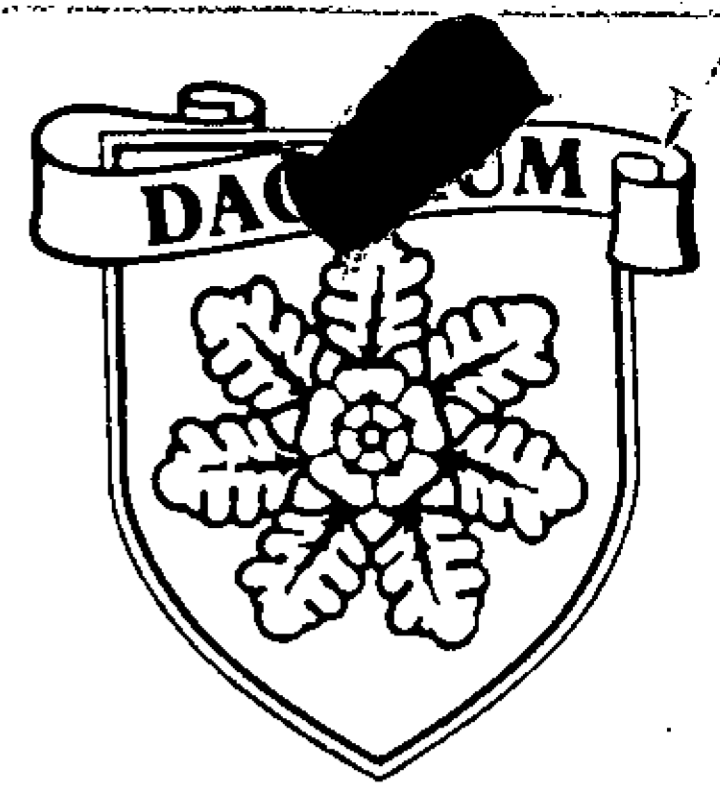
DEMOLITION OF EXISTING DWELLING & ERECTION OF TWO SEMI DETACHED HOUSES(OUTLINE)

Your application for *outline planning permission* dated 02.04.1993 and received on 07.04.1993 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 27.05.1993

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE
TO APPLICATION: 4/0517/93

Date of Decision: 27.05.1993

1. The development hereby permitted shall not be carried out otherwise than in accordance with detailed plans and drawings showing the siting, design, landscaping and external appearance of the building(s) and means of access thereto which shall have been approved by the local planning authority or in default of agreement by the Secretary of State.

Reason: To comply with the requirements of Article 5 (2) of the Town and Country Planning General Development Orders 1977-85.

2. Application for approval in respect of all matters reserved in condition 1 above shall be made to the local planning authority within a period of three years commencing on the date of this notice and the development to which this permission relates shall be begun not later than whichever is the later of the following dates:

(i) The expiration of a period of five years commencing on the date of this notice.

(ii) The expiration of a period of two years commencing on the date upon which final approval is given by the local planning authority or by the Secretary of State or, in the case of approval given on different dates, the final approval by the local planning authority or the Secretary of State.

Reason: To comply with the provisions of s.92 of the Town and Country Planning Act 1990.

3. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

4. There shall be no vehicular access from St Albans Hill.

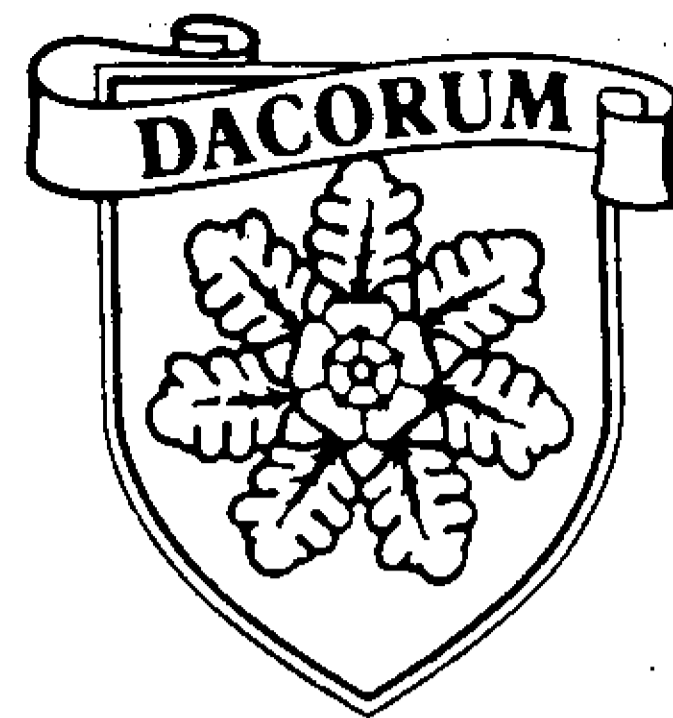
Reason: In the interests of highways safety.

5. The access shall include the provision of sight lines of 2.4 m x 35 m within which there shall be no obstruction more than 600mm above carriageway level.

Reason: In the interests of highways safety.

CONDITIONS APPLICABLE
TO APPLICATION: 4/0517/93

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6. Details submitted in accordance with condition 1 of this permission shall include detailed proposals for vehicle parking within the site in accordance with standards adopted by the local planning authority.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.