

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0592/94

Coleycare Ltd
'Three Gables'
Corner Hall
Lawn Lane
Hemel Hempstead
Herts

Brian B Smith
Old Sub. Station
Saracens Head Yard
Holywell Hill, St. Albans
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
=====

Ashlyns Hall, Chesham Road, Berkhamsted

ERECTION OF RESIDENTIAL HOME FOR THE ELDERLY AND PARKING

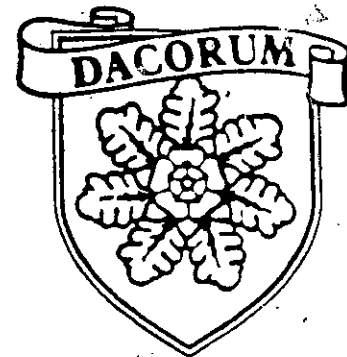
Your application for *full planning permission* dated 03.05.1994 and received on 04.05.1994 has been **GRANTED**, subject to any conditions set out on the attached sheets.

Director of Planning.

Date of Decision: 03.08.1995

(encs. - Conditions and Notes).





CONDITIONS APPLICABLE
TO APPLICATION: 4/0592/94

Date of Decision: 03.08.1995

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. No work shall be started on the development hereby permitted until details of the materials to be used in the surfacing and layout of the access, parking, turning areas and pathways shall have been submitted to and approved by the local planning authority and the development shall be constructed in accordance with the details so approved.

Reason: To ensure a satisfactory appearance.

3. Details submitted pursuant to Condition 2 above shall include the provision of protection between the parking spaces coloured green on approved Drawing No. 4.1 and the existing garden wall.

Reason: For the avoidance of doubt and to safeguard the wall which is a feature of architectural and historic interest.

4. No work shall be started on the development hereby permitted until samples of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

5. No work shall commence on the construction of the nursing home hereby permitted until a method statement proposing works for the repair of the wall, the lowering of the wall and the formation or alteration of openings within the wall, together with measures for the protection of the existing garden wall during construction works, shall have been submitted to and approved by the local planning authority and the development shall be carried out in accordance with the method statement so approved.

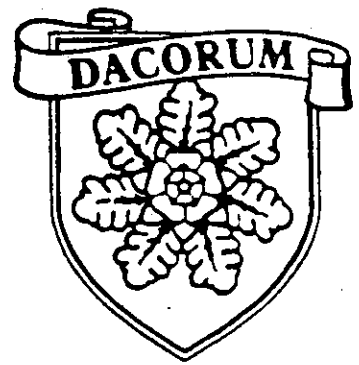
Reason: To safeguard the character and appearance of the wall which is a feature of architectural and historic interest.

6. No work shall commence on the construction of the nursing home hereby permitted until detailed proposals for the partial retention and repair of the existing greenhouses within the walled garden shall have been submitted to and approved by the local planning authority and the development shall be carried out in accordance with the details so approved.

Reason: For the avoidance of doubt and to safeguard the wall which is a feature of architectural and historic interest.

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CONDITIONS APPLICABLE
TO APPLICATION: 4/0592/94

Date of Decision: 03.08.1995

7. No work shall commence on the development hereby permitted until details (at a scale of 1:20 or similar) of the windows and doors proposed for the nursing home shall have been submitted to and approved by the local planning authority and the development shall be constructed in accordance with the details so approved.

Reason: To ensure a satisfactory appearance.

8. No work shall commence on the development hereby permitted until details of the clock tower, cupola and pergola shall have been submitted to and approved by the local planning authority and the development shall be constructed in accordance with the details so approved.

Reason: To ensure a satisfactory appearance.

9. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

Reason: To maintain and enhance visual amenity.

10. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

11. Notwithstanding the details shown on the approved plans, this permission extends only to the erection of the nursing home, alterations to the garden wall and greenhouses and formation of access, parking and turning areas.

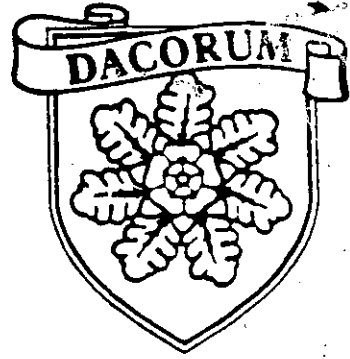
Reason: For the avoidance of doubt.

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CONDITIONS APPLICABLE
TO APPLICATION: 4/0592/94

Date of Decision: 03.08.1995



12. The development hereby permitted shall not be occupied until the existing garden wall shall have been altered and repaired in accordance with the details approved under Condition 5 of this permission.

Reason: To ensure the proper repair of the wall which is a feature of architectural and historic interest.

