

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0593/92

Mr J Phillips Long Common  
Scatterdells Lane  
Chipperfield  
Herts

Technical Design Partnership  
Blue Court 39 Queensway  
Hemel Hempstead  
Herts  
HP2 5HE

DEVELOPMENT ADDRESS AND DESCRIPTION  
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Long Common Scatterdells Lane, Chipperfield,

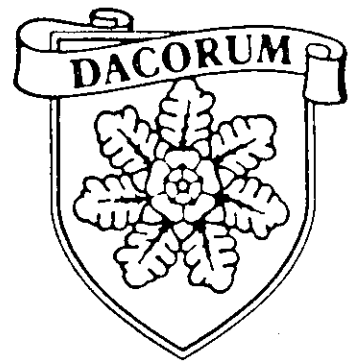
FORMATION OF DORMERS IN GARAGE

Your application for *full planning permission (householder)* dated 14.05.1992 and received on 18.05.1992 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 10.07.1992

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0593/92

Date of Decision: 10.07.1992

1. The enlarged garage shall be used only as part of 'Long Common' as a dwellinghouse as defined under Part C, Class C3 of the Town and Country Planning (Use Classes) Order 1987 and, therefore, shall at no time be used as a dwellinghouse separate from 'Long Common'.
2. This permission only relates to the formation of the two Dormer windows to the existing garage as shown on Drawing No. 0975/02.

**REASONS:**

1. For the avoidance of doubt as 'Long Common' is located within the Metropolitan Green Belt in the Development Plan wherein there is a presumption against new residential development. To create a separate residential unit would be contrary to this policy as well as other policies embodied in the Development Plan.
2. For the avoidance of doubt and for the purposes of clarification. Although the site plan (Drawing No. 0975/02 Scale 1:500) shows 'existing house' which has recently been extended, the width of the 'existing house' is not accurate. Moreover, the extended dwellinghouse has not been enlarged in accordance with planning permission 4/0041/91FH.