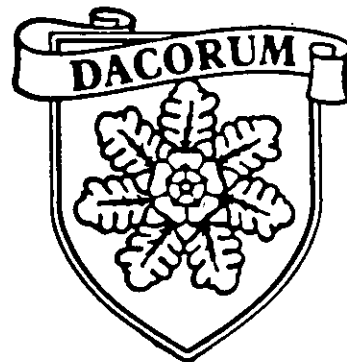


TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL



Application Ref. No. 4/0594/91

Shanning Group Ltd  
Ashlyns Hall  
Chesham Road  
Berkhamsted  
HERTS

Headley Stokes Associates  
Bridgefoot House  
159 High Street  
Huntingdon  
CAMBS

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

Ashlyns Hall, Chesham Road, Berkhamsted,

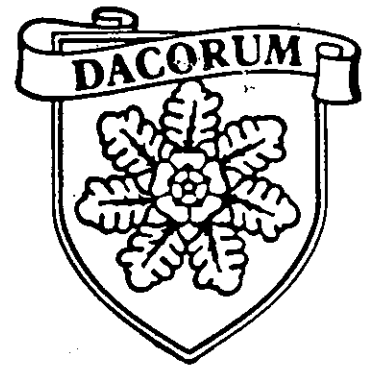
ERECTION OF OFFICE BUILDING

Your application for *listed building consent* dated 01.05.1991 and received on 03.05.1991 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 03.10.1991

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0594/91

Date of Decision: 03.10.1991

1. The works to which this consent relates shall be begun within a period of five years commencing on the date of this notice.
2. Before works commence, full details of the design and materials of the boilerhouse shall be submitted to and approved in writing by the local planning authority and the boilerhouse shall be constructed strictly in accordance with those details and materials.
3. Details of the restoration and any alterations to the wall surrounding the garden, including the exhibit of a sample panel showing the method of working and the quality of workmanship, shall be submitted to and approved in writing by the local planning authority before works commence.
4. The restoration of any alterations to the wall surrounding the garden shall be completed prior to the occupation of the office building hereby permitted.
5. The development hereby permitted shall not be carried out and this consent shall become of no effect, if the consent granted on 16 October 1986 for training and recreational buildings and car park at Ashlyns Hall, Chesham Road, Berkhamsted (reference 4/1083/86LB) is at any time proceeded with.
6. The consent hereby granted is an alternative to and not in addition to, either wholly or in part, the following:

Reference No.	Development	Date of Permission
4/1083/86LB	Training and recreational buildings and car park	16 October 1986

No part of the development referred to in this consent shall be carried out if any part of the development hereby permitted has been implemented.

7. This consent relates to drawing numbers 271/13/P/01, 271/13/P/02a, 271/7/P/2a - deposited with the local planning authority on 17 September 1991, and for the purposes of site location only, drawing number 271/7/P/1 deposited with the local planning authority on 3 May 1991.

**REASONS:**

1. To comply with the requirements of s.18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. To ensure the design and materials are appropriate to the setting of the walled garden.
3. To ensure that the wall is restored to a satisfactory standard.



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0594/91 (continued)

Date of Decision: 03.10.1991

**REASONS: (continued)**

4. To ensure that the wall is restored within a reasonable period.
5. This consent is granted as an alternative to consent number 4/1083/86LB.
6. This consent shall be carried out if any part of the development hereby permitted has been implemented.
7. For the avoidance of doubt.



TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0594/91

Shanning Group Ltd  
Ashlyns Hall  
Chesham Road  
Berkhamsted  
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Headley Stokes Associates  
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DEVELOPMENT ADDRESS AND DESCRIPTION  
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Ashlyns Hall, Chesham Road, Berkhamsted,  
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Director of Planning.

Date of Decision: 03.10.1991

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE  
TO APPLICATION: 4/0594/91

Date of Decision: 03.10.1991



1. The works to which this consent relates shall be begun within a period of five years commencing on the date of this notice.
2. Before works commence, full details of the design and materials of the boilerhouse shall be submitted to and approved in writing by the local planning authority and the boilerhouse shall be constructed strictly in accordance with those details and materials.
3. Details of the restoration and any alterations to the wall surrounding the garden, including the exhibit of a sample panel showing the method of working and the quality of workmanship, shall be submitted to and approved in writing by the local planning authority before works commence.
4. The restoration of any alterations to the wall surrounding the garden shall be completed prior to the occupation of the office building hereby permitted.
5. The development hereby permitted shall not be carried out and this consent shall become of no effect, if the consent granted on 16 October 1986 for training and recreational buildings and car park at Ashlyns Hall, Chesham Road, Berkhamsted (reference 4/1083/86LB) is at any time proceeded with.
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REASONS:

1. To comply with the requirements of s.18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
2. To ensure the design and materials are appropriate to the setting of the walled garden.
3. To ensure that the wall is restored to a satisfactory standard.



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0594/91 (continued)

Date of Decision: 03.10.1991

**REASONS: (continued)**

4. To ensure that the wall is restored within a reasonable period.
5. This consent is granted as an alternative to consent number 4/1083/86LB.
6. This consent shall be carried out if any part of the development hereby permitted has been implemented.
7. For the avoidance of doubt.