

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0605/94

Mr V G Warwick
Pack Warwick Designers
99c Talbot Road
London
W11 2AT

DEVELOPMENT ADDRESS AND DESCRIPTION
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Whip & Collar Public House, Two Waters Road, Hemel Hempstead, Herts

SINGLE STOREY REAR EXTENSION, ENTRANCE CANOPY AND FORMATION OF CAR PARKING

Your application for *full planning permission* dated and received on 06.05.1994 has been *GRANTED*, subject to any conditions set out on the attached sheet(s).

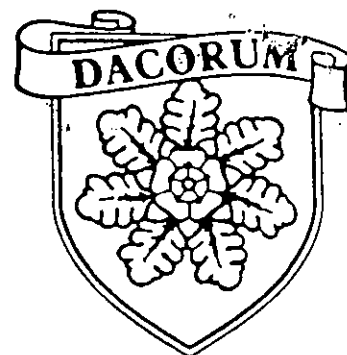
Director of Planning.

Date of Decision: 14.07.1994

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE
TO APPLICATION: 4/0605/94

Date of Decision: 14.07.1994



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be constructed in materials as shown on the approved plans or such other materials as may be agreed in writing with the local planning authority.

Reason: To ensure a satisfactory appearance.

3. No work shall be started on the development hereby permitted until there has been submitted to an approved by the local planning authority a scheme for ventilation of the premises including the extraction and filtration of cooking fumes. The approved scheme shall be carried out before the use of the premises for restaurant/takeaway purposes is commenced.

Reason: In the interests of the amenity of occupants of nearby and adjacent properties.

4. Notwithstanding the details shown on the approved plans, prior to the car park hereby permitted being brought into use a 2m high brick wall shall be provided between points A and B and a close boarded fence shall be provided between points B and C as indicated on drawing no. 126.01 local authority reference 4/0605/94.

Reason: To safeguard the residential amenity of the occupants of 6 Two Waters Road, Hemel Hempstead.

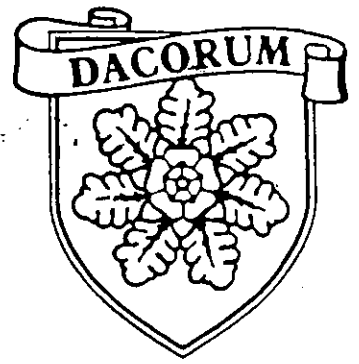
5. No work shall be started on the brick wall referred to in Condition 4 above until details of materials to be used shall have been submitted to and approved by the local planning authority, and the wall shall be constructed of the materials so approved.

Reason: To ensure a satisfactory appearance.

6. The developer shall construct the crossover to standards set out in the current edition of Hertfordshire County Council's "Specification for the Construction of Residential Estate Roads" and the development shall not be brought into use until the access is so constructed.

Reason: In the interests of highways safety.

/Continued:...



CONDITIONS APPLICABLE
TO APPLICATION: 4/0605/94

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7. The car parking area for 11 cars located to the rear of the Whip and Collar Public House shall be laid out in accordance with drawing no. 126/11B (local authority reference 4/0605/94FL), unless otherwise agreed in writing with the local planning authority, before the use of the premises for restaurant/takeaway purposes is commenced.

Reason: For the avoidance of doubt and to ensure a satisfactory development.