



TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0628/94

Mr and Mrs Polling  
c/o Woolwich Property Services  
47 Sycamore Road  
Amersham  
Bucks

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DEVELOPMENT ADDRESS AND DESCRIPTION

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Cross Farm, Flaunden Lane, Bovington

CONVERSION AND CHANGE OF USE OF BARN TO 3 DWELLINGS AND ERECTION OF GARAGES  
(RENEWAL)

Your application for *full planning permission* dated 09.05.1994 and received on 11.05.1994 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

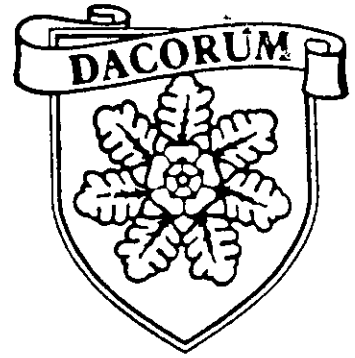
Director of Planning.

Date of Decision: 30.08.1994

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE  
TO APPLICATION: 4/0628/94

Date of Decision: 30.08.1994



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. No work shall be started on the development hereby permitted until details of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

3. No work shall be started on the development hereby permitted until details of doors and windows (including materials to be constructed from) shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

4. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988, no development within Schedule 2 Part 1 and Part 2 shall take place without the express written permission of the local planning authority.

Reason: In order that the local planning authority may retain control over further development in the interests of residential and visual amenity.

5. The existing brick and flint rear wall facing Chipperfield Road, forming part of the stable block to be demolished shall be retained as a boundary wall.

Reason: To maintain and enhance visual amenity.

6. The development hereby permitted shall not be occupied until the arrangements for parking and garaging shown on plan 4/0628/94 shall have been provided, and they shall not be used thereafter otherwise than for the purposes approved.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.

CONDITIONS APPLICABLE  
TO APPLICATION: 4/0628/94

Date of Decision: 30.08.1994



7. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

Reason: To maintain and enhance visual amenity.

8. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

9. The details of landscaping referred to in Condition 7 hereof shall include details of the layout of the inner Courtyard and details of the proposed treatment of the boundaries of the site.

Reason: To maintain and enhance visual amenity.

10. Before the development hereby permitted is occupied, the granary building shall be restored to the satisfaction of the local planning authority.

Reason: In the interests of preserving the character and appearance of the building.