

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0632/92

R Andrews, Holloway Cottage
Drayton Holloway
Icknield Way, Tring
Herts

Mr B Branwhite
Barclays Bank Chambers
65 High Street
TRING

DEVELOPMENT ADDRESS AND DESCRIPTION
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Plot 1 Osmington School, Okeford Drive/Christchurch Rd, Tring

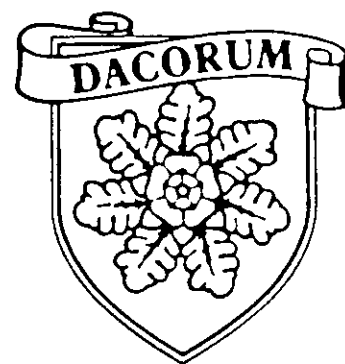
ERECTION OF DETACHED DWELLING AND DETACHED GARAGE

Your application for *full planning permission* dated 26.05.1992 and received on 27.05.1992 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 20.07.1992

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE
TO APPLICATION: 4/0632/92

Date of Decision: 20.07.1992

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. No work shall be started on the development hereby permitted until samples of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.
3. The existing hedge on the south-east boundary of the site shall be protected during the period of construction and such part or parts of the hedge as become damaged shall be replaced within the planting season following completion of development.
4. No development shall take place until full details of the north-eastern boundary wall shall have been submitted to and approved by the local planning authority.
5. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendments thereto, there shall be no extension or addition to the building(s) hereby permitted without the express written permission of the local planning authority.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
2. To ensure a satisfactory appearance.
3. To maintain and enhance visual amenity.
4. To ensure a satisfactory development.
5. In order that the local planning authority may retain control over further development in the interests of residential and visual amenity.