

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0756/92

Mr & Mrs S G Kirk
56 Lindlings
Hemel Hempstead
Herts

Collett Design
17 Collett Road
HEMEL HEMPSTEAD
Herts
HP1 1HY

DEVELOPMENT ADDRESS AND DESCRIPTION

56 Lindlings, Hemel Hempstead,

TWO STOREY SIDE EXTENSION

Your application for *full planning permission (householder)* dated 18.06.1992 and received on 18.06.1992 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

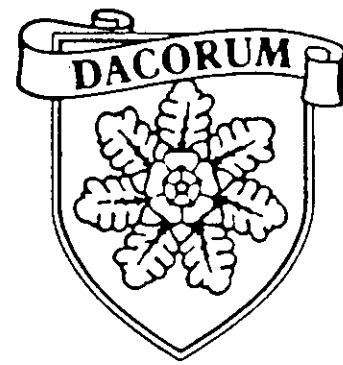
Director of Planning.

Date of Decision: 05.08.1992

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE
TO APPLICATION: 4/0756/92

Date of Decision: 05.08.1992



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.
3. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 (Schedule 2 Part 1) or any amendment thereto, there shall be no alterations, including the insertion of windows, to the north eastern flank wall of the extension hereby granted, as marked by a blue line on Drawing No. 92/1711/2.A., without the express written permission of the local planning authority.
4. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 (Schedule 2 Part 1) or any amendment thereto, there shall be no alterations to the garage door of the extension hereby permitted without the express written permission of the local planning authority.
5. The widened vehicular access shown on Drawing No. 92/1711/2A shall be constructed to the standards set out in the current edition of Hertfordshire County Council's Specification for the Construction of Residential Estate Roads and the development shall not be brought into the use until the access is so constructed.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
2. To ensure a satisfactory appearance.
3. To enable the local planning authority to retain control over future elevations to the north eastern flank wall of the extension in order to permanently safeguard the privacy of No. 58 The Lindings, Hemel Hempstead.
4. To enable the local planning authority to retain control over future alterations to the garage, as its conversion to habitable accommodation necessitating the change to the front elevation of the garage, would result in the loss of curtilage a parking space. The provision of only two spaces to serve the 4 bedroom dwellinghouse would not account with the Council's adopted parking standards.
5. In the interests of highways safety.