

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0771/92

Mr K Booles
51 Dags Dell Road
Hemel Hempstead
Herts

Mr D Fisher
8 Birch Leys
Hemel Hempstead
Herts
HP2 7SA

DEVELOPMENT ADDRESS AND DESCRIPTION
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37 Dunston Hill Tring

TWO STOREY SIDE EXTENSION AND SINGLE STOREY FRONT EXTENSION

Your application for *full planning permission (householder)* dated 22.06.1992 and received on 23.06.1992 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

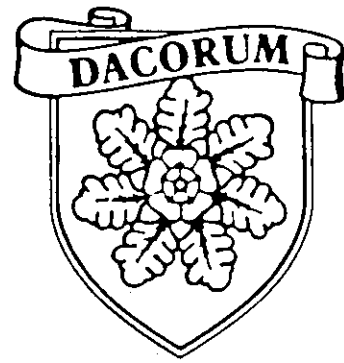
Director of Planning.

Date of Decision: 12.08.1992

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE
TO APPLICATION: 4/0771/92

Date of Decision: 12.08.1992



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.
3. The integral garage shown on Dwg. No. KB100/01 shall not be used primarily for any purpose other than the parking of vehicles incidental to the enjoyment of the dwellinghouse unless otherwise agreed in writing by the local planning authority.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
2. To ensure a satisfactory appearance.
3. To ensure that the garage provided within the site is utilized by occupants of the site to meet the car parking standards of the local planning authority.