



TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0860/90

J.Culverhouse  
36 Crouch Hall Lane  
Redbourn  
Herts

C W & R C Shrimplin  
11 Cardiff Road  
Luton  
Beds  
LU1 1PQ

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

Birchin Grove Farm, Half Moon Lane, near Pepperstock, Flamstead

DETACHED BUILDING AND USE OF LAND FOR STORAGE AND ASSEMBLY OF FIREWORKS FOR  
DISPLAY AND FORMATION OF ACCESS TRACK

Your application for *full planning permission* dated 11.06.1990 and received on  
12.06.1990 has been **GRANTED**, subject to any conditions set out on the attached  
sheet.

Director of Planning

Date of Decision: 16.05.1996

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE  
TO APPLICATION: 4/0860/90

Date of Decision: 16.05.1996



1. The land shall be used only for the storage of fireworks and their assembly into firework displays.

Reason: This permission is granted only because of the special nature and requirements of the use applied for. Normal industry or storage would not usually be permitted in this rural area.

2. Except in emergency vehicular access shall be taken only from Half Moon Lane.

Reason: To avoid the need for vehicular access across fields which are of nature conservation interest.

3. Before the office building is clad in brickwork, details of the bricks to be used shall be submitted to and approved by the local planning authority and the building shall be clad in the bricks as so approved.

Reason: To ensure a satisfactory external appearance.

4. Within six months of the date of this permission all storage containers shall be painted dark green and they shall thereafter be maintained in dark green.

Reason: To ensure a satisfactory external appearance.

5. No fences shall be erected on the land other than those shown on the plan annexed hereto.

Reason: To prevent an unsightly proliferation of fences.

6. No containers or portable buildings shall be placed on the land other than those expressly authorised by this permission.

Reason: To prevent an unsightly proliferation of containers or portable buildings.

7. There shall be no outside storage of goods or materials.

Reason: To prevent an unsightly proliferation of open storage.

8. All planting, seeding or turfing shown on the approved details of planting on the plan annexed hereto shall be carried out in the first planting or seeding seasons following the date of this permission and any trees or plants which within a period of five years from the date of this permission die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species unless the local planning authority gives written consent to any variation and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.

DATED

1995

DACORUM BOROUGH COUNCIL

(1)

and

JONATHAN ST LEONARD CULVERHOUSE

(2)

**P L A N N I N G   O B L I G A T I O N**

under s.106 of the Town and  
Country Planning Act 1990 in respect of  
land situate at:  
Birchin Grove Farm  
Half Moon Lane  
Nr Pepperstock  
Flamstead

Keith M Pugsley  
Director of Law and Administration  
Dacorum Borough Council  
Civic Centre  
Marlowes  
Hemel Hempstead  
Herts HP1 1HH

File Ref: 3.95/32/126/172/RH/AJF/BS.6

cT<sub>B</sub>



N O W T H I S D E E D W I T N E S S E T H A S F O L L O W S :

1. IN the event that planning permission with or without conditions is granted by the Council or by the Secretary of State for the Environment (hereinafter called "the permission") pursuant to the Application described in The Second Schedule hereto (hereinafter called "the Application") and the permission shall be implemented then this Agreement shall have full force and effect but not otherwise save that Clause 3 (b) hereof shall have full force and effect from the date hereof
2. IN consideration of the Covenants on the part of the Owner contained in the Third Schedule hereto the Council hereby Covenants with the Owner that the Council will forthwith grant the permission pursuant to the Application subject to conditions
3. IN consideration of the Council's Covenant contained in Clause 2 hereof the Owner hereby Covenants and undertakes with the Council
  - (a) to observe and perform the Covenants set out in the Third Schedule and Fourth Schedule hereto
  - (b) to pay the Council's reasonable costs in the preparation hereof on the execution of this Agreement
4. This Planning Obligation shall be registered as a Local Land Charge

I N W I T N E S S W H E R E O F the parties hereto have set their hands and seals to be hereunto affixed the day and year first before written

FIRST SCHEDULE

The Owner

Name: JONATHAN ST LEONARD CULVERHOUSE of 36 Crouch  
Hall Lane Redbourn St Albans Hertfordshire

The Land

Land at Birchin Grove Farm Half Moon Lane Flamstead  
Hertfordshire shown edged red on the Plan annexed hereto being  
plan number 4614:04

The Owner's Interest in the Land

Unencumbered fee simple in possession

SECOND SCHEDULE

The Application and the Development

Application No. 4/0860/90

The Development consists of the siting of a building for use as a workshop together with the siting of magazines at surface level of the ground within the area hatched black on the plan annexed hereto such magazines and building to be used for the storage and assembly of fireworks for display

CONDITIONS

1. The land shall be used only for the storage of fireworks and their assembly into fireworks displays

Reason: This permission is granted only because of the special nature and requirements of the use applied for

Normal industry or storage would not usually be permitted in this rural area

2. Except in emergency vehicular access shall be taken only from Half Moon Lane

Reason: To avoid the need for vehicular access across fields which are of nature conservation interest

3. Before the office building is clad in brickwork details of the bricks to be used shall be submitted to and approved by the local planning authority and the building shall be clad in the bricks as so approved

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7. There shall be no outside storage of goods or materials

Reason: To prevent an unsightly proliferation of open storage

8. All planting seeding or turfing shown on the approved details of planting on the plan annexed hereto shall be carried out in the first planting or seeding seasons following the date of this permission and any trees or plants which within a period of five years from the date of this permission die are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species unless the local planning authority gives written consent to any variation and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year

Reason: To maintain and enhance visual amenity

### THIRD SCHEDULE

#### Covenants of the part of the Owner

The Owner hereby covenants with the Council:

- (1) To use the land solely for the purposes described in the Development
- (2) To observe and perform the covenants stipulations and restrictions set out in the Fourth Schedule
- (3) The covenants contained in this Schedule shall only be effective if the planning permission is implemented and this Agreement completed and that the said covenants shall no longer have effect with regard to the Owner in the event that they dispose of the property

FOURTH SCHEDULE

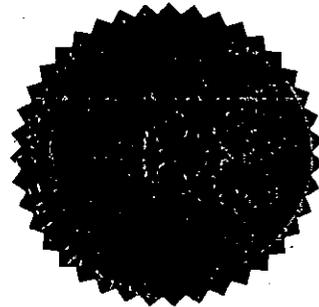
The Management Scheme

1. (a) The Management Scheme shall be the Scheme of which a copy is annexed hereto
- (b) At five yearly intervals the Management Scheme shall be reviewed by the applicant (using a suitably qualified body approved by the Director of Planning) and review shall be submitted to and approved by the Council
- (c) That the provisions of such management scheme as may have been approved by the Council shall be carried out during the continuation of each 5 yearly period following commencement of the Development pursuant to the Permission and in every succeeding period of five years in accordance with the reviews referred to in paragraph (b) of this clause
- (d) That the provisions of paragraphs (b) and (c) of this clause shall remain in effect for so long as the Land is used for the purposes set out in the Second Schedule above

THE COMMON SEAL of  
DACORUM BOROUGH COUNCIL  
was hereunto affixed  
in the presence of:

*Keir Kuttank*  
Chief Executive

*K.M. Popley*  
Assistant Director  
(Law) and  
*Administration*



SEAL REGISTER  
BOOK 9  
ENTRY 163



THE MANAGEMENT SCHEME  
REFERRED TO ABOVE

1. Meadows 4 and 5 on the plan annexed hereto shall be used as pasture for livestock grazing. Both meadows shall be fenced with sheep fencing for ease of management, thus enabling sheep grazing as an option on both.
2. The overall grazing pressure on the total area of grazing available shall be about 150 sheep weeks/ha/year or 38 cattle weeks/ha/year.
3. No supplementary stock feeding shall be allowed, provided always that protein block may be used.
4. There shall be no improvement of the grassland sward for grazing by the application of organic or inorganic fertilizers, or any re-seeding.
5. There shall be no sward improvement through the application of herbicide or pesticide or the use of a weed wiper or spot treatment for the control of weeds such as spear thistle, creeping thistle, curled dock, broad leaved dock, ragwort or nettle, without the prior written consent of the Council. Weeding by hand is acceptable.
6. Management of grazing shall be undertaken so as to avoid damage by over grazing or poaching.
7. If grazing is not undertaken in any one year, then the meadows shall be cut and baled. This shall be carried out as a hay crop during June/July or alternatively a cut should be taken during September/October and the cuttings removed.

8. There shall be no modification to existing drainage systems or installation of new drainage systems without the prior written consent of the Council.
9. The land shall not be disturbed by ploughing or other forms of cultivation.
10. There shall be no damage caused to other areas and features of conservation value such as hedgerows and trees.
11. The Council, or their ecological advisers may, with prior permission, obtain access to the site in order to undertake botanical monitoring to assess the effectiveness of the Management Scheme. Such monitoring will aim to identify positive or negative trends in the grassland with respect to nature conservation, and may result in modification to the Management Scheme after consultation and agreement with the owner.