

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0871/91

Mr G Ward  
5 William Court  
Hemel Hempstead  
Herts

S.D. Johnston  
120 St Annes Road  
London Colney, St Albans  
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

5 William Court, King Edward Street, Hemel Hempstead

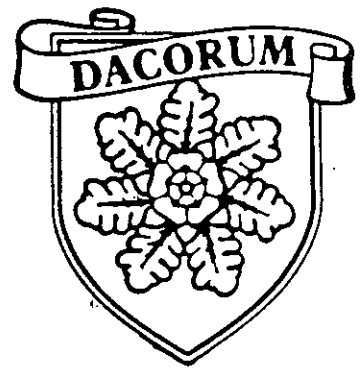
TWO STOREY SIDE EXTENSION

Your application for *full planning permission (householder)* dated 06.06.1991 and received on 21.06.1991 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 13.08.1991

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE  
TO APPLICATION: 4/0871/91

Date of Decision: 13.08.1991

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.
3. The extended dwellinghouse shall at no time be provided with more than two bedrooms.
4. Notwithstanding the details shown on Drawing No. SDJ/0691/01, no work shall be commenced upon the development hereby permitted until a scheme for protecting the extended dwellinghouse from external noise from the adjoining railway shall have been submitted to and approved by the local planning authority and the extension shall not be brought into use until the approved scheme shall have been implemented.
5. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 (Schedule 2 Part 1 Class A) there shall be no alterations to the south-eastern flank wall of the extension hereby permitted without the prior approval in writing of the local planning authority.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
2. To ensure a satisfactory appearance.
3. There are only two parking spaces available for No. 5 William Court and the conversion of further rooms to bedrooms would result in a deficiency of parking provision in view of the standards specified by the Council's adopted parking guidelines.
4. To ensure an adequate standard of sound attenuation.
5. In order that the local planning authority may retain control over alterations to this elevation in order to safeguard the privacy of nearby dwellinghouses.