

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0887/95

B S Roth
36 Pine Grove
London
N20 8LB

Connell Wilson
158 Marlowes
Hemel Hempstead
Herts
HP1 1BA

DEVELOPMENT ADDRESS AND DESCRIPTION
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145 Marlowes, Hemel Hempstead, Herts

CHANGE OF USE SHOP (A1) TO SHOP SELLING HOT FOOD (A3)

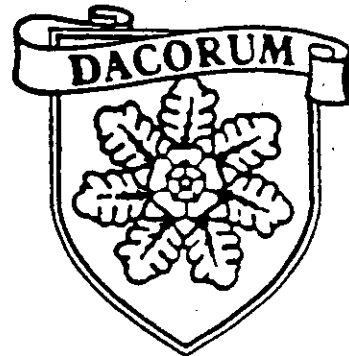
Your application for *full planning permission* dated 19.06.1995 and received on 11.07.1995 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 04.09.1995

(encs. - Conditions and Notes).





CONDITIONS APPLICABLE
TO APPLICATION: 4/0887/95

Date of Decision: 04.09.1995

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The use hereby permitted shall not be open to customers outside the hours of 0730 - 2300 Mondays to Saturdays inclusive and 0900 - 2300 on Sundays.

Reason: To permanently safeguard the residential amenity of the locality.

3. The use hereby permitted shall not be commenced until a sound insulation scheme shall have been submitted to, approved by and installed to the satisfaction of the local planning authority and the approved scheme shall therefore be permanently maintained at all times that the premises are open.

Reason: To permanently safeguard the residential amenity of the locality.

4. The ventilation of the premises, through the provision of a extraction and filtration system, shall only involve external pipework ducting installed on the southern flank wall and prior to the commencement of the use hereby permitted full details of the extraction and filtration system should be submitted to and approved by the local planning authority; thereafter the system shall be maintained in accordance with the approved scheme and operated at all times when the premises are open.

Reason: To permanently safeguard the residential amenity of the locality and for the avoidance of doubt.

5. The pipework subject to condition 4 shall be a minimum of 2 m above footway level.

Reason: In the interests of highways safety.

6. The planning permission does not relate to the approval of the means of escape in case of fire.

Reason: For the avoidance of doubt, as this requires approval to ensure the safe use of the premises.

NOTE: Conduit was specified discussed fully with Agent.

