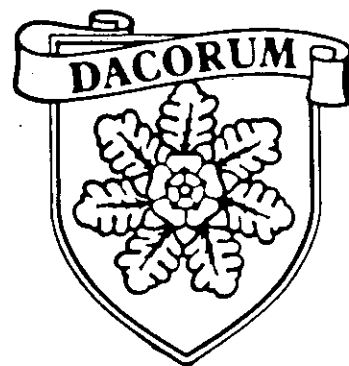


TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL



Application Ref. No. 4/0970/90

G.Hall & Sons Ltd
3 Marlowes
Hemel Hempstead
Herts

Cannon Morgan & Rheinberg
4 Red Lion Street
Chesham
Bucks

DEVELOPMENT ADDRESS AND DESCRIPTION
=====

Grist House Farm, Leighton Buzzard Road, Piccotts End, Hemel H/stead.

C.O.U. OF BARN TO FUNERAL DIRECTORS, C.O.U. FROM FUNERAL DIRECTORS, STORES & GARAGES TO WORKSHOPS

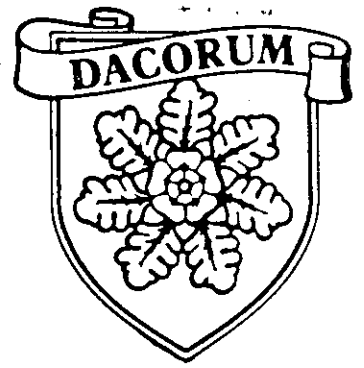
Your application for *full planning permission* dated 03.07.1990 and received on 04.07.1990 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

A handwritten signature in dark ink, appearing to read 'G. R. B. R.', is written over the printed name of the Director of Planning.

Director of Planning.

Date of Decision: 07.12.1990

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE
TO APPLICATION: 4/0970/90

Date of Decision: 07.12.1990

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The development shall not be brought into use until the access has been modified and the verge has been reinstated to the current specification of Hertfordshire County Council.
3. The timber barn, described as unit 1 on the submitted plans, shall be used only as a funeral director's business.
4. The buildings described as units 2, 3 and 4 on the submitted plans shall only be used for purposes falling within Class B1 of the Town and Country Planning (Use Classes) Order 1987 or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order.
5. There shall be no alterations to the external appearance of the buildings without the prior consent in writing of the local planning authority.
6. Before the occupation of any of the units hereby permitted, the brick and flint wall adjacent to the access road shall be rebuilt, in the position shown on the submitted plans. It shall in all respects the existing wall.

REASONS:

1. To comply with the requirements of s.91 of the Town and Country Planning Act 1990.
2. In the interests of highways safety.
3. There is insufficient car parking provision to support unrestricted business use of the barn.
4. To prevent undue disturbance or intrusion into this attractive rural area.
5. To preserve the architectural and historic character of the buildings.
6. To preserve the setting of the farmhouse.