

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/0973/91

Eurolink (Construction) Ltd
Gayefere, Mark Way
Godalming
Surrey

GMK Associates
1st Fl., Block "D" Dukes Crt.
Duke Street
Woking, Surrey
GU21 5BH

DEVELOPMENT ADDRESS AND DESCRIPTION
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Former Castle Public House, Junc. Castle St. & Mill St., Berkhamsted

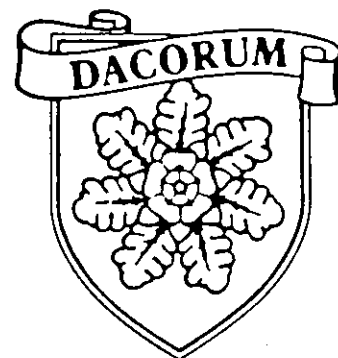
REFURBISHMENT AND CHANGE OF USE TO OFFICES OF EXISTING BUILDING & 2 STOREY OFFICE
EXTN. WITH BASEMENT PARKING

Your application for *full planning permission* dated 03.07.1991 and received on
10.07.1991 has been **GRANTED**, subject to any conditions set out on the attached
sheet(s).

Director of Planning.

Date of Decision: 28.11.1991

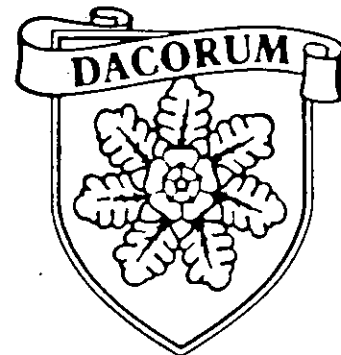
(encs. - Conditions and Notes).



CONDITIONS APPLICABLE
TO APPLICATION: 4/0973/91

Date of Decision: 28.11.1991

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.
3. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.
4. The development hereby permitted shall not be occupied until the arrangements for vehicle parking and turning shown on drawing number 1207/15 shall have been provided, and they shall not be used thereafter otherwise than for the purposes approved.
5. The development hereby permitted shall not be occupied until the bricks walls screening the car park area shall have been constructed, and these walls shall be maintained at all times thereafter.
6. A schedule of works for the repair of those parts of the listed building to be retained as shown on the plans hereby permitted shall be submitted to and approved by the local planning authority prior to the commencement of works.
7. Those parts of the listed building to be retained, as shown on the plans hereby permitted, shall be repaired prior to the commencement of works on the extension hereby permitted, in accordance with the schedule of works approved by the local planning authority in accordance with condition 6.
8. Notwithstanding the details shown on Drawing No. 1207/17, the roofs of the listed building and extension shall be finished in natural slates to match those presently on the listed building.



CONDITIONS APPLICABLE
TO APPLICATION: 4/0973/91

Date of Decision: 28.11.1991

9. Notwithstanding the details shown on Drawing No. 1207/27, the windows and two storey external glazed and panelled screens to the development shall be constructed in timber and finished in accordance with details which shall be submitted to and approved by the local planning authority prior to the commencement of works, or such alternative materials as may be approved in writing by the local planning authority.
10. The obscure panels within the two storey external glazed and panelled screens shall be constructed and finished in accordance with a sample which shall be submitted to and approved by the local planning authority prior to the commencement of works.
11. Samples of bricks to be used in the construction of the extension and boundary walls shall be submitted to and approved by the local planning authority prior to the commencement of works.
12. The copings to the boundary walls shall be constructed in accordance with details which shall be submitted to and approved by the local planning authority prior to the commencement of works.
13. Details of materials to be used for paving/accessway shall be submitted to and approved by the local planning authority prior to the commencement of works.
14. The development shall be carried out strictly in accordance with the details approved by virtue of the preceding conditions of this permission.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
- 2&3. To maintain and enhance visual amenity.
4. To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.
5. To maintain and enhance visual amenity.
- 6,7,8,9,10,11,12&13. To ensure a satisfactory appearance.
14. For the avoidance of doubt.