

Team 1.



# The Planning Inspectorate

An Executive Agency in the Department of the Environment and the Welsh Office

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Mr B Johnson  
13 Deans Furlong  
TRING  
Hertfordshire  
HP23 4AR

Your Reference:

Our Reference:  
T/APP/A1910/A/95/250028/P8

Date:

25 AUG 1995

Dear Sir

TOWN AND COUNTRY PLANNING ACT 1990  
SECTION 78 AND SCHEDULE 6  
APPEAL BY MR J McARDLE  
APPLICATION NUMBER: 4/1417/94

25 AUG 1995	
Received	29 AUG 1995
Comments	

1. I have been appointed by the Secretary of State for the Environment to determine the above-mentioned appeal. This appeal is against the decision of the Dacorum Borough Council to refuse planning permission for two storey side extension and detached garage at 2 Ash Grove, Hemel Hempstead, Herts. I have considered the written representations made by you and by the Council. I inspected the site on 2 August 1995.
2. The property comprises one of a pair of matching semi-detached houses of pre-war construction, having rendered elevations under a clay interlocking tile roof. It is located in an elevated position at the junction of Ash Grove and Great Elms Road, being set at an angle to the junction. The surrounding area comprises mostly semi-detached houses of similar vintage, a number of which have been extended in recent years, including those close by to which reference has been specifically made in your representations, including No 7 Great Elms Road on the opposite corner of the junction.
3. From my inspection of the appeal site and surrounding area and consideration of the representations, I am of the opinion that the principal issue in this case is whether the proposed extension would, by reason of its size and siting, be likely to harm the appearance of the dwellinghouse or detract from the visual amenities of the street scene.
4. Policy 47 of the Hertfordshire County Structure Plan Review seeks to protect and enhance the existing settlements and the essential character of the County's urban areas. Local Planning Authorities will have regard, not only to the impact of individual proposals, but will also take into account the cumulative effect of development. The Dacorum Borough Local Plan was formally adopted in April 1995 subsequent to the issue of the decision in this case. However, the policies to which I refer were at an advanced stage towards adoption at the time of the decision and replaced similar policies in the earlier Dacorum District Plan. Policy 8 requires a high standard in all development proposals. Development will not be permitted unless it meets certain criteria specified in the policy, including

100%



RECYCLED PAPER

layout, site coverage, design, scale and bulk. It should relate to adjoining property and respect the townscape, density and general character of the area in which it is set. Development should also avoid harm to the surrounding neighbourhood and adjoining properties through, for example, visual intrusion.

5. Part 5 of the Local Plan includes Environmental Guidelines which, in the case of extensions to existing buildings, seeks the provision of designs which relate well to the parent building. Amongst the guidelines are requirements that any extension should maintain the common design characteristics of the row or street within which a house is located, with particular regard, inter-alia, to building lines and space about and between dwellings. In respect of side extensions strict requirements will apply to prominent side extensions, but mainly to those parts that are clearly visible to the street. Side extensions can often upset the balance of the front elevation of a house and therefore may need to be set back from the front wall.

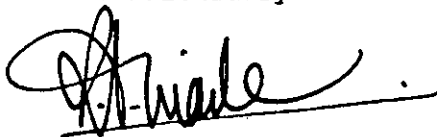
6. The subject property and its attached neighbour, No 9 Great Elms Road, are currently largely unaltered. They are in a very prominent position within the street scene set at an angle at the fulcrum between the cul-de-sac of Ash Grove and Great Elms Road. Development as proposed would almost double the width of the front elevation on the same plane as the front main wall, such that the corner of the extension would project some 2.5m in front of the established building line of the houses in Ash Grove. Such an extension is likely to unbalance the existing visual relationship between the subject property and its neighbour which would be accentuated by the small scale of the existing dwellings and the somewhat spacious setting of their existing side gardens.

7. The proposed extension would be located within an existing open space which, to my mind, is important in the street scene given its prominence in views from Great Elms Road. The elevated position of the plot would be likely to accentuate the bulk of the extension and be particularly damaging to the character and appearance of the street scene. I have inspected the other properties to which you have drawn my attention. These, however, do not have the same impact upon the street scene as would be the case with the proposals before me given that they are sited in far less prominent locations. The extension at No 7 Great Elms Road also respects the building line of No's 1, 3 and 5 next door and does not project into a vulnerable gap between the flank elevation of houses as in the subject case.

8. I have had regard to the other matters raised in the representations, but none is of sufficient strength to outweigh the considerations which have led to my decision that consent should not be granted.

9. For the above reasons, and in exercise of powers transferred to me, I hereby dismiss this appeal.

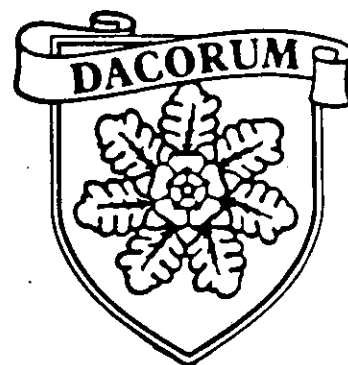
Yours faithfully



R J Maile BSc FRICS  
Inspector

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL



Application Ref No. 4/1417/94

Mr J McArdle  
2 Ash Grove  
Hemel Hempstead  
Herts

Mr.B.Johnson  
13 Deans Furlong  
Tring  
Herts  
HP23 4AR

DEVELOPMENT ADDRESS AND DESCRIPTION  
=====

2 Ash Grove, Hemel Hempstead, Herts

TWO STOREY SIDE EXTENSION AND DETACHED GARAGE

Your application for *full planning permission (householder)* dated 02.11.1994 and received on 02.11.1994 has been **REFUSED**, for the reasons set out on the attached sheet(s).

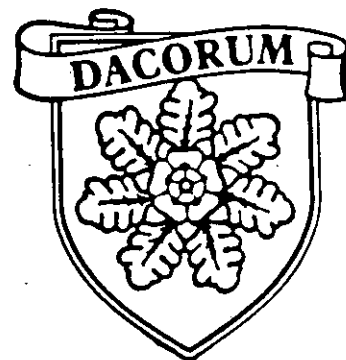
Director of Planning

Date of Decision: 18.01.1995

(ENC Reasons and Notes)

REASONS FOR REFUSAL  
OF APPLICATION: 4/1417/94

Date of Decision: 18.01.1995



Policies of the Development Plan aim to safeguard the residential character of the Borough. To this effect Policy 8 of the Dacorum Borough Local Plan Deposit Draft & Proposed and Further Modifications specifies that development will not be permitted if it fails to satisfy a range of criteria. Of those listed, it is expected that new development will harmonize with the general character of the area and avoid visual harm. No. 2 Ash Grove, together with No. 9 Great Elms Road, form a pair of prominent semi-detached dwellinghouses which complement the character of the existing street scene. The proposed two storey side extension by reason of its size and position will seriously detract from the appearance of the dwellinghouses within the street scene to the detriment of the visual amenity of this established residential area, in particular in relation to Ash Grove.