

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/1420/92

Colleycare Ltd
Three Gables
Corner Hall
Lawn Lane
Hemel Hempstead
Herts

Brian B Smith
Saracens Head Yard
Holywell Hill
St Albans
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
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St Josephs, Aylesbury Road, Tring

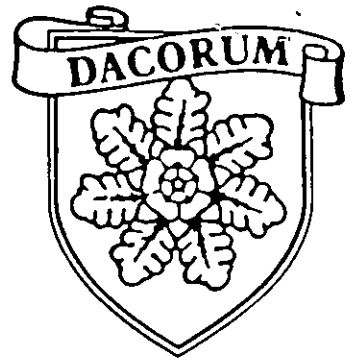
DEMOLITION OF EXISTING BUILDING AND ERECTION OF ELDERLY PERSONS DWELLING,
FORMATION OF ACCESS AND PARKING AREA.

Your application for *full planning permission* dated 05.11.1992 and received on 10.11.1992 has been *GRANTED*, subject to any conditions set out on the attached sheet(s).

Director of Planning

Date of Decision: 28.01.1993

(encs. - Conditions and Notes)



CONDITIONS APPLICABLE
TO APPLICATION: 4/1420/92

Date of Decision: 28.01.1993

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

- 2. No work shall be started on the development hereby permitted until details of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

3. No work shall be started on the development hereby permitted until details of the materials to be used in the construction of the access driveway and parking area shall have been submitted to and approved by the local planning authority and the development hereby permitted shall be carried out in the materials so approved.

Reason: To ensure a satisfactory appearance.

4. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.

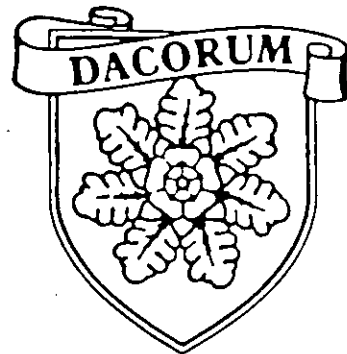
Reason: To maintain and enhance visual amenity.

5. Adequate arrangements shall be made to the satisfaction of the local planning authority for the protection of all trees on the site which are to be retained to prevent damage during constructional works. Any trees accidentally damaged shall be replaced by approved species in the first planting season thereafter.

Reason: To maintain and enhance visual amenity.

6. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.

Reason: To maintain and enhance visual amenity.



CONDITIONS APPLICABLE
TO APPLICATION: 4/1420/92

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7. Access to the development hereby permitted shall be constructed in accordance with approved drawing No. 11A.

Reason: In the interests of highways safety.

8. The access width shall be 4.8 m and the kerb radii shall be 6.0 m which shall include a pram crossing.

Reason: In the interests of highways safety.

9. The development shall not be brought into use until the proposed access has been constructed (and the existing access off the current access drive has been closed) and the footway has been reinstated to the current specification of Hertfordshire County Council.

Reason: In the interests of highways safety.

10. The development hereby permitted shall not be occupied until the arrangements for vehicle parking shown on drawing No. 11A shall have been provided and they shall not be used thereafter otherwise than for the parking of vehicles.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.

11. The development hereby permitted shall be used only as an elderly persons' nursing home and for no other purpose (including any other use falling within Class C2 of the Schedule to the Town and Country Planning (Use Classes) Order 1987, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order), and none of the bedrooms except those occupied by staff shall be occupied by anyone aged under 55 years.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.