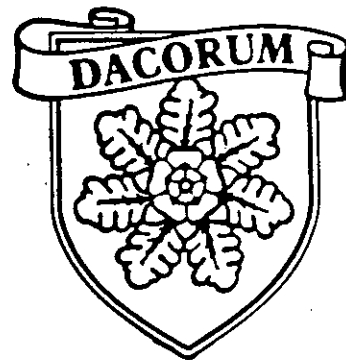


TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL



Application Ref No. 4/1427/91

James Masters
98 Green End Road
Hemel Hempstead
Herts

D S I
67 St. John's Road
Hemel Hempstead
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
=====

67 St. John's Road, Hemel Hempstead,

CHANGE OF USE FROM DOMESTIC GARAGE TO GARAGE/STORE (B8)

Your application for *full planning permission* dated and received on 22.10.1991 has been **REFUSED**, for the reasons set out on the attached sheet(s).

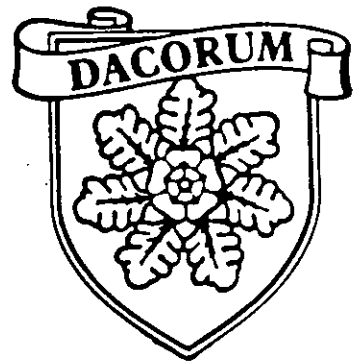
Director of Planning

Date of Decision: 28.11.1991

(ENC Reasons and Notes)

REASONS FOR REFUSAL
OF APPLICATION: 4/1427/91

Date of Decision: 28.11.1991



REFUSED for the following reason:

The proposed use of this domestic garage for storage purposes will result in the creation of a new planning unit, entirely independent of other uses at No. 67 St John's Road, which is an area distinguished by acknowledged congested parking and highway problems. The use of the garage for separate commercial use will result in the loss of an existing parking facility serving the original shop/residential use at 67 St John's Road and further intensify the use of the original restricted rear yard of the site which serves other independent commercial uses, the cumulative effect of which will exacerbate the acknowledged congested parking and highway problems of the locality. As a consequence of the intensification of the use of the rear of 67 St John's Road, which will be likely to involve the increased vehicular movements, there will be a detrimental impact upon the residential amenity of No. 69 St John's Road by reason of noise and disturbance.