

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/1435/91

Richard Visick
40 The Drive
Northwood
Middx
HA6 1HP

DEVELOPMENT ADDRESS AND DESCRIPTION
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The Well House Austins Place Hemel Hempstead

CONVERSION OF RECORDING STUDIO/STORE TO RESIDENTIAL UNIT

Your application for *full planning permission* dated 22.10.1991 and received on 23.10.1991 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

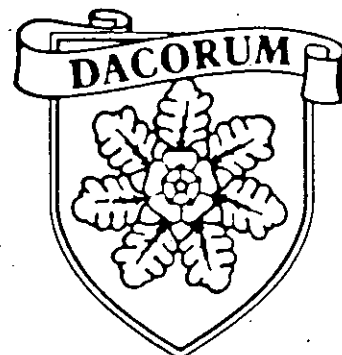
Director of Planning.

Date of Decision: 29.11.1991

(encs. - Conditions and Notes).

CONDITIONS APPLICABLE
TO APPLICATION: 4/1435/91

Date of Decision: 29.11.1991



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.
3. All new windows and doors shall be constructed of painted timber.
4. The brick arches indicated on Plan Number 4/1435/91 shall be constructed without the use of permanent glass reinforced plastic formers.
5. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendments thereto, there shall be no extension, addition or alteration to the building hereby permitted without the express written permission of the local planning authority.

REASONS:

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
2. To enable the local planning authority to retain control over the development which is permitted only to meet the specific circumstances of the applicant.
3. To ensure a satisfactory appearance.
4. To ensure a satisfactory appearance.
5. In order that the local planning authority may retain control over further development in the interests of residential and visual amenity.