



TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/1547/91

Circle 33 Housing Trust Ltd  
152 Blackhorse Road  
London  
E17 6NH

G.N.Ring Dir.Technical Serv  
Dacorum Borough Council  
Civic Centre Marlowes  
Hemel Hempstead  
HERTS

DEVELOPMENT ADDRESS AND DESCRIPTION

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Off Semphill Rd, Rear Deaconsfield Rd, Hemel Hempstead

20 SEMI DETACHED DWELLINGS

Your application for *full planning permission* dated 15.11.1991 and received on 18.11.1991 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 16.01.1992

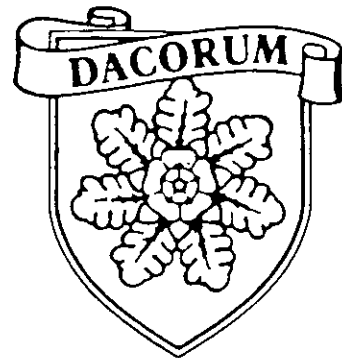
(encs. - Conditions and Notes).

CONDITIONS APPLICABLE  
TO APPLICATION: 4/1547/91

Date of Decision: 16.01.1992



1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.
2. No work shall be started on the development hereby permitted until details of materials to be used externally shall have been submitted to and approved by the local planning authority, and the development hereby permitted shall be carried out in the materials so approved.
3. No development shall take place until there has been submitted to and approved by the local planning authority a scheme of landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection in the course of development, and details of numbers, species and proposed planting location of all new trees, shrubs and hedgerows.
4. All planting, seeding or turfing comprised in the approved details of landscaping, shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation, and for the purposes of this condition a planting season shall be deemed to commence in any one year on 1 October and to end on 31 March in the next following year.
5. Adequate arrangements shall be made to the satisfaction of the local planning authority for the protection of all trees on the site which are to be retained to prevent damage during constructional works. Any trees accidentally damaged shall be replaced by approved species in the first planting season thereafter.
6. The road hereby permitted shall be constructed in accordance with the specification of the Hertfordshire County Council set out in "Residential Roads in Hertfordshire". (Note: Full details of the road works proposed should be submitted to and approved by the local highway authority before any work is commenced on site.)
7. A forward visibility curve shall be provided on the inside of the highway bend between Points A - B and C - D on Plan 4/1547/91FL within which there shall be no obstruction more than 600 mm above carriageway level. This splay shall be designed in accordance with the specification contained in "Residential Roads in Hertfordshire".
8. The development hereby permitted shall not be occupied until the arrangements for vehicle parking, shown on plan 4/1547/91FL shall have been provided, and they shall not be used thereafter otherwise than for the purposes approved.



REASONS APPLICABLE  
TO APPLICATION: 4/1547/91

Date of Decision: 16.01.1992

1. To comply with the provisions of s.91 of the Town and Country Planning Act 1990.
2. To ensure a satisfactory appearance.
- 3-5 To maintain and enhance visual amenity.
6. To ensure the safe, economic, durable, attractive and proper development of the estate.
7. In the interests of highways safety.
8. To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.