

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/1570/95

Mr & Mrs J Barnett
Little Felden House
Felden Lane
Hemel Hempstead
Herts

Foster & Emery
29 High Street
Hemel Hempstead
Herts
HP1 3AA

DEVELOPMENT ADDRESS AND DESCRIPTION
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Little Felden House, Felden Lane, Hemel Hempstead

TWO STOREY FRONT EXTENSION AND ALTERATIONS TO EMBANKMENT

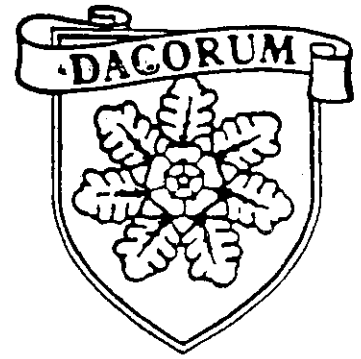
Your application for *full planning permission* dated 12.12.1995 and received on 14.12.1995 has been **GRANTED**, subject to any conditions set out on the attached sheets.

Director of Planning

Date of Decision: 07.02.1996

(encs. - Conditions and Notes).





CONDITIONS APPLICABLE
TO APPLICATION: 4/1570/95

Date of Decision: 07.02.1996

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. The materials used externally shall match both in colour and texture those on the existing building of which this development shall form a part.

Reason: To ensure a satisfactory appearance.

3. Prior to the commencement of the work upon the extension hereby permitted, parking spaces Nos. 1 to 4 on Drawing No. 3 Rev. A and the turning area hatched yellow shall have been demarcated and thereafter the parking spaces and turning area shall be permanently retained and only used for the parking and turning of vehicles respectively.

Reason: In the interests of highways safety.

4. Notwithstanding the details shown on Drawing No. 3 Rev. A this permission does not extend to any approval of the structural details of the extension hereby permitted and prior to the commencement of this part of the development full details of the method of construction of the extension in relation to the existing and new tree planting shall be submitted and approved by the local planning authority and the extension shall be constructed fully in accordance with approved scheme.

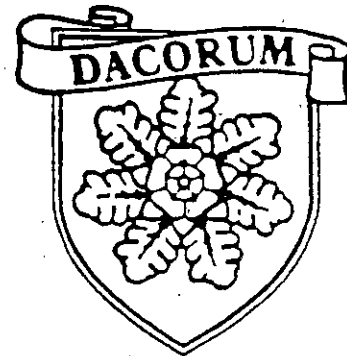
Reason: The local planning authority needs to be satisfied that the structural details are appropriate to ensure that a harmonious relationship will be established between the extension and the existing and new planting. This will be in the interests of the long term semi-rural appearance of Felden Lane whereby the replacement Beech trees are not subject to requests for removal in the future and that their long term retention will be essential to reinforcing the existing high visual quality of the locality.

5. Notwithstanding the details of tree planting shown on Drawing No. 3 Rev. A this planning permission does not extend to the approval of the planting scheme which is a separate requirement.

Reason: For the avoidance of doubt, a scheme for the replacement planting is required under Approval 4/0972/95.

/Continued...





CONDITIONS APPLICABLE
TO APPLICATION: 4/1570/95

Date of Decision: 07.02.1996

6. There shall at no time be any additional rooms formed as a result of the internal subdivision of either the existing or the extended dwellinghouse as shown by Drawing No. 2A without the express written permission of the local planning authority.

Reason: To enable the local planning authority to retain control over the future level of accommodation of the dwellinghouse in the interests of highway safety.

