

TOWN AND COUNTRY PLANNING ACT 1990

DACORUM BOROUGH COUNCIL

Application Ref. No. 4/1572/93

Mrs E Brett
3 Mount Pleasant Cottages
Morcott
Rutland
LEICESTER

Mr A P Whiteley
61 Akeman Street
Tring
Herts

DEVELOPMENT ADDRESS AND DESCRIPTION
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The Garden House, Akeman Street, Tring

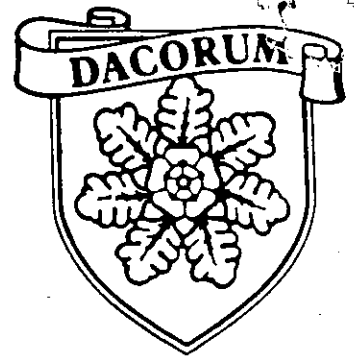
TWO SEMI DETACHED DWELLINGS (RESUBMISSION)

Your application for *full planning permission* dated 18.11.1993 and received on 22.11.1993 has been **GRANTED**, subject to any conditions set out on the attached sheet(s).

Director of Planning.

Date of Decision: 17.02.1994

(encs. - Conditions and Notes).



CONDITIONS APPLICABLE
TO APPLICATION: 4/1572/93

Date of Decision: 17.02.1994

1. The development to which this permission relates shall be begun within a period of five years commencing on the date of this notice.

Reason: To comply with the provisions of s.91 of the Town and Country Planning Act 1990.

2. Notwithstanding the details on drawings EB/03 and EB/04 the roofs of the dwellings and double garage shall be finished in natural slate.

Reason: To ensure a satisfactory appearance.

3. The external walls boundary walls and any form of hardstanding or hard landscaping shall be constructed and finished in accordance with a schedule of materials and finishes which shall be submitted to and approved by the local planning authority before development is commenced.

Reason: To ensure a satisfactory appearance.

4. The windows of the development hereby permitted shall be painted timber side hung casements.

Reason: To ensure a satisfactory appearance.

5. There shall be cambered brick arches over all windows of the development hereby permitted, and these shall be traditionally constructed without the use of permanent glass reinforced plastic formers.

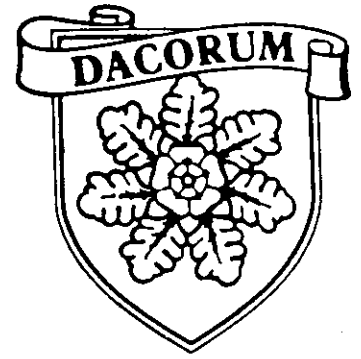
Reason: To ensure a satisfactory appearance.

6. Notwithstanding the provisions of the Town and Country Planning General Development Order 1988 or any amendments thereto, there shall be no development within classes A, B, C, D and E in Part 1 of Schedule 2 to the above orders without the express written consent of the local planning authority.

Reason: In order that the local planning authority may retain control over further development in the interests of residential and visual amenity.

7. The development hereby permitted shall not be occupied until the arrangements for vehicle parking shown on plan 4/1572/92 shall have been provided, and they shall not be used thereafter otherwise than for the purposes approved.

Reason: To ensure the adequate and satisfactory provision of off-street vehicle parking facilities.



CONDITIONS APPLICABLE
TO APPLICATION: 4/1572/93

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8. The developer shall construct the crossover to standards set out in the current edition of Hertfordshire County Council's "Specification for the Construction of Residential Estate Roads" and the development shall not be brought into use until the access is so constructed.

Reason: In the interests of highways safety.

9. A 2.4 m x 2.4 m visibility splay shall be provided each side of the access, measured from the edge of the accessway to the edge of the carriageway within which there shall be no obstruction to visibility between 600 mm and 2.0 m above the carriageway level.

Reason: In the interests of highways safety.

10. Vehicular access to the site shall only be taken from Akeman Street, and no work shall commence on the construction of the houses hereby permitted until there has been submitted to and approved by the local planning authority details (including all necessary plans and sections) of the alteration and improvement of the access to the site from Akeman Street by way of Harrow Yard. The development shall be carried out strictly in accordance with the details as so approved.

Reason: To ensure a satisfactory means of vehicular access and to ensure the adequate and satisfactory provision of off-street vehicle parking facilities.

11. No work shall commence on the houses hereby permitted until vehicular and pedestrian access to the site from Akeman Street by way of Harrow Yard shall have been provided, in accordance with the details approved under Condition 10.

Reason: To ensure a satisfactory means of vehicular access and to ensure the adequate and satisfactory provision of off-street vehicle parking facilities.